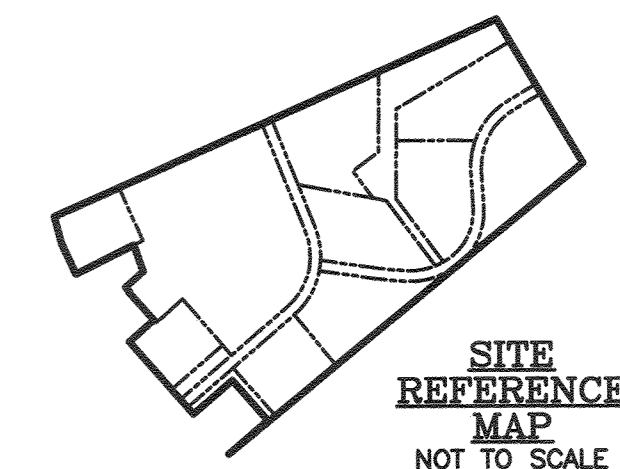


# SUBDIVISION CONSTRUCTION PLANS

FOR

# DOUBLE HILLS ROAD INDUSTRIAL PARK

IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND



REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

**WARNING!!**  
THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

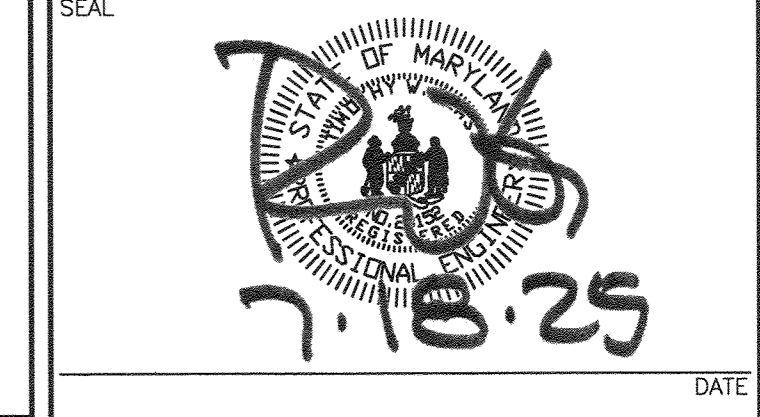
THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY WORK ON-SITE. THE CONTRACTOR SHALL NOTIFY DEPT. OF PUBLIC WORKS OF ANY POSSIBLE CONFLICT AND REQUEST THE RELOCATION OF THE EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION EXPENSE.



**Lane Engineering, LLC**  
Established 1986  
Civil Engineers • Land Planning • Land Surveyors

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354 Pennsylvania Ave., Centerville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23152, Expiration Date: 7/5/2025.



**TITLE SHEET**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND  
TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	G-101	07/17/25
SCALE:	AS NOTED	JOB No. 230379
		FILE No. B562



REVIEWED FOR CAROLINE SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

APPROVED: *[Signature]* 8/25/25  
CAROLINE SOIL CONSERVATION DISTRICT DATE

NOTE: THE CAROLINE SOIL CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY, OR OTHERWISE ALTER THE SOIL EROSION AND SEDIMENT CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

**DEVELOPERS CERTIFICATE**

I HEREBY CERTIFY THAT ALL THE DEVELOPMENT AND/OR CONSTRUCTION SHALL BE DONE ACCORDING TO THIS PLAN OF EROSION AND SEDIMENT CONTROL.

*[Signature]* 7/18/2025  
CAROLINE COUNTY COMMISSIONERS OFFICE DATE  
C/O TRAVIS BREEDING  
109 MARKET STREET, STE 123  
DENTON, MARYLAND 21629  
(410) 479-8100

- ANY CLEARING, GRADING CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATIONS FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR THE SUBCONTRACTOR.
- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL BEFORE BEGINNING THE PROJECT.
- THE DEVELOPER WILL PROVIDE THE DISTRICT ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY REQUIRING A STATE POND PERMIT.

**NOTICE OF INTENT (NOI) STATEMENT**

THE FOLLOWING ITEMS HAVE BEEN ADDRESSED TO MEET THE REQUIREMENTS OF THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY (NPDES NUMBER MDRC, STATE DISCHARGE PERMIT NUMBER 20 CP):

- UTILIZATION OF ENVIRONMENTAL SITE DESIGN
- MAINTENANCE OF LIMITS OF DISTURBANCE TO PROTECT NATURAL AREAS
- CONTROL OF CONSTRUCTION EQUIPMENT AND VEHICLES
- EVALUATION AND APPROPRIATE LIMITATION OF SITE CLEARING
- EVALUATION AND DESIGNATION OF SITE AREA FOR PHASING OR SEQUENCING
- IDENTIFICATION OF SOILS AT HIGH RISK FOR EROSION AND ADVANCED STABILIZATION TECHNIQUES TO BE USED
- IDENTIFICATION OF STEEP SLOPES AND DESIGNATION OF LIMITATIONS ON CLEARING THEM
- EVALUATION AND DESIGNATION OF STABILIZATION REQUIREMENTS AND TIME LIMITS AND PROTECTION MEASURES FOR DISCHARGES TO THE CHESAPEAKE BAY, IMPAIRED WATERS OR WATERS WITH AN ESTABLISHED TOTAL MAXIMUM DAILY LOAD (TMDL).

**NOTE TO CONTRACTOR:**  
EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.

**STATEMENT OF PURPOSE & INTENT**

THE PURPOSE OF THESE PLANS IS TO OBTAIN PROJECT PLAN APPROVAL AND PROVIDE NECESSARY CONSTRUCTION INFORMATION TO CONSTRUCT ROADWAYS, UTILITIES, GRADINGS, AND OTHER IMPROVEMENTS NECESSARY TO CREATE MARKETABLE LOTS IN THE DOUBLE HILLS ROAD INDUSTRIAL PARK.

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5	C-101	OVERALL CONTEXT SITE PLAN
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7	C-103	PARK LANE ROAD PLAN & PROFILE
8	C-103.1	PARK LANE ROAD PLAN & PROFILE
9	C-103.2	PARK LANE ROAD PLAN & PROFILE
10	C-104	WALSH WAY ROAD PLAN & PROFILE
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18	C-401.2	PARK LANE WATER PLAN & PROFILE
19	C-402	WALSH WAY WATER PLAN & PROFILE
20	C-402.1	WALSH WAY WATER PLAN & PROFILE
21	C-402.2	WALSH WAY WATER PLAN & PROFILE
22	C-501	SEDIMENT & EROSION CONTROL NOTES & DETAILS
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28	L-101	STORMWATER PLANTING PLAN

PROJECT DATA

PROPERTY: TAX MAP 108, PARCEL 64
9391 DOUBLE HILLS ROAD
DENTON, MARYLAND 21629

OWNER/DEVELOPER: CAROLINE COUNTY COMMISSIONERS OFFICE
C/O TRAVIS BREEDING
109 MARKET STREET, STE 123
DENTON, MARYLAND 21629
(410) 479-8100

DEED REFERENCE: 745/558

PLAT REFERENCE: 6/183

EX. ZONING CLASSIFICATION (CAROLINE COUNTY): R - RURAL
PROP. ZONING CLASSIFICATION (AFTER TOWN OF DENTON ANNEXATION): I - INDUSTRIAL

SITE AREA: 76.31 ACRES±

BUILDING SETBACKS: PER EXISTING ZONING CLASSIFICATION (R-RURAL):

- FRONT - 40'
REAR - 30'
SIDE - 25'
NTW - 25'

PER ZONING CLASSIFICATION AFTER ANNEXATION (I-INDUSTRIAL):

- FRONT - 50'
REAR - 20'
SIDE - 20' (50' AGGREGATE)
NTW - 25'

EXISTING CONDITIONS: UNDEVELOPED AGRICULTURAL PARCEL

PROPOSED DEVELOPMENT: SUBDIVISION OF CURRENT PARCEL INTO AN INDUSTRIAL PARK CONSISTING OF 7 INITIAL LOTS, 4 OPEN SPACE LOTS (INCLUDING 2 FOREST CONSERVATION PARCELS), 2 PUBLIC ROAD RIGHT-OF-WAYS, AND THE CONSTRUCTION OF A PUBLIC ROAD TO CONNECT DOUBLE HILLS ROAD AND PARK LANE, UTILITIES AND DRAINAGE FACILITIES THAT WILL ALLOW FOR THE FLEXIBLE FUTURE DEVELOPMENT OF SUBDIVIDED LOTS.

STORMWATER MANAGEMENT: PROVIDED BY UTILIZING GRASS SWALE (M-8) ESD PRACTICE TO PROVIDE TREATMENT FOR SUBDIVISION ROADWAYS. FUTURE DEVELOPMENT ON INDIVIDUAL LOTS WILL BE REQUIRED TO PROVIDE WATER QUALITY TREATMENT AND QUANTITY MANAGEMENT ON-SITE. THE EXISTING SHERIFF OFFICE STORMWATER FACILITY TO BE RELOCATED AND EXPANDED TO PROVIDE A GREATER ESDV THAN ORIGINALLY REQUIRED.

FOREST CONSERVATION: PROVIDED IN ESTABLISHED FOREST CONSERVATION EASEMENT AREAS. REFER TO SEPARATE FOREST CONSERVATION PLAN AND EASEMENT DOCUMENTS ON FILE WITH CAROLINE COUNTY.

SPECIAL EXCEPTIONS/VARIANCES: NONE

SITE LIGHTING: ROADSIDE LIGHTING PROVIDED PER TOWN OF DENTON REQUIREMENTS

STREET TREES: 1 DECIDUOUS TREE, 2.5" CALIPER REQUIRED EVERY 30 FT OF ROAD FRONTAGE

PROJECT NOTES

- 1. PROPERTY BOUNDARY AND EXISTING CONDITIONS SURVEYED BY LANE ENGINEERING, LLC IN NOVEMBER 2023
2. SITE TOPOGRAPHY AS SHOWN HEREIN WAS DERIVED FROM A FIELD SURVEY BY LANE ENGINEERING, LLC DATED NOVEMBER 2023.
3. ALL UNDERGROUND UTILITIES ARE SHOWN PER THE BEST AVAILABLE RECORDS AND ARE APPROXIMATE ONLY.
4. THE ELEVATIONS SHOWN HEREON ARE NAVD 1988 DATUM.
5. THE COORDINATES SHOWN HEREON ARE BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM NAD83 (2011).
6. THE SITE IS LOCATED ENTIRELY OUTSIDE OF THE CHESAPEAKE BAY CRITICAL AREA.

7. THE PROPERTY SHOWN HEREON IS NOT LOCATED IN THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE PROPERTY IS MAPPED IN THE "X" FLOOD ZONE(S) AS SHOWN ON THE FEDERAL INSURANCE RATE MAPS FOR COMMUNITY NO. 240130, MAP NO. 24011C0227D FOR CAROLINE COUNTY, MARYLAND. THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SFHA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. THE SFHA INCLUDE ZONES A, AE, AH, AO, AR, A99, V & VE. THE BASE FLOOD ELEVATION (BFE) IS THE WATER SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD. FLOOD INSURANCE MAY BE REQUIRED FOR STRUCTURES LOCATED IN THE SPECIAL FLOOD HAZARD AREA.

FLOOD ZONE LEGEND
ZONES A, AE, AH, AO, AR, A99, V & VE - 1% ANNUAL CHANCE FLOOD
ZONE X (SHADED) - 0.2% ANNUAL CHANCE FLOOD
ZONE X - AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD

8. THE FLOOD DATA SHOWN HEREON IS BASED ON AVAILABLE MAPPED AND/OR DIGITAL INFORMATION AND IS DEPICTED AS DIRECTED AND REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS. IT IS SUBJECT TO DATA INACCURACIES AND REGULATORY CHANGE AND SHOULD BE VERIFIED PRIOR TO FINALIZING DEVELOPMENT OR IMPROVEMENT PLANS FOR THE SUBJECT LANDS.

9. NO ABSTRACT OF TITLE, TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH HAVE BEEN FURNISHED TO LANE ENGINEERING, LLC. THE BUILDING RESTRICTION LINES AS SHOWN HEREON ARE BASED SOLELY ON THE CURRENT TOWN OF DENTON ZONING ORDINANCE APPLICABLE TO THE PROPERTY SHOWN HEREON AND ARE SUBJECT TO CHANGE WITH THE REVISION OF ZONING LAWS. OTHER DOCUMENTS OF RECORD MAY EXIST THAT MAY AFFECT THE SURVEYED PROPERTY REFLECTED HEREON, INCLUDING BUT NOT LIMITED TO EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, PLAT RESTRICTIONS OR ANY OTHER FACTS THAT AN ACCURATE, COMPLETE AND CURRENT TITLE SEARCH MAY DISCLOSE.

10. THERE ARE NO KNOWN HISTORIC STRUCTURES OR ARCHEOLOGICALLY SIGNIFICANT RESOURCES, STEEP SLOPES APPROACHING 15%, STREAMS, TIDAL WETLANDS OR KNOWN HABITAT PROTECTION AREAS IN PROXIMITY TO THE PROPOSED SITE IMPROVEMENTS. NON-TIDAL WETLANDS ARE PRESENT ON SITE AND HAVE BEEN FIELD LOCATED BY LANE ENGINEERING, LLC. ANY DISTURBANCE TO VALIDATED WETLAND OR BUFFER AREAS WILL REQUIRE APPROVAL BY MARYLAND DEPARTMENT OF THE ENVIRONMENT/U.S. ARMY CORP OF ENGINEERS.

11. WORK WITHIN NON-TIDAL WETLANDS OR THE 25' BUFFER WILL REQUIRE AUTHORIZATION BY MDE AND USACE. ANY REQUIRED PERMITS TO BE PROVIDED BY OWNER.

GENERAL:

- 1. THESE DRAWINGS SHOW INFORMATION FROM THE BEST AVAILABLE RECORDS REGARDING PIPES, CONDUITS, TELEPHONE LINES, AND OTHER STRUCTURES AND CONDITIONS, WHICH EXIST ALONG THE LINE OF WORK, BOTH AT AND BELOW THE SURFACE OF THE GROUND. THE OWNER AND THE ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION WHICH IS SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR, WHO MUST VERIFY THE INFORMATION GIVEN TO HIS OWN SATISFACTION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE CONTRACTOR SHALL SUPPORT AND PROTECT ALL PIPES, CONDUITS, TELEPHONE LINES AND OTHER STRUCTURES. SHOULD ANY DAMAGE OCCUR TO UTILITIES, IT SHALL BE REPAIRED SOLELY AT THE CONTRACTOR'S EXPENSE.
2. LANE ENGINEERING, LLC SHALL NOT BE RESPONSIBLE FOR CONTRACTOR MEANS AND METHODS OR FOR ERRORS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS FOR THEIR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. ANY ERROR, OMISSION OR DEFECT DISCOVERED IN THE CONTRACT DOCUMENTS SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF LANE ENGINEERING, LLC BY WRITTEN NOTICE BEFORE PROCEEDING WITH THE WORK.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION AND TESTING SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, LOCAL BUILDING CODES, AND THE STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS AND UTILITY CONSTRUCTION IN TOWN OF DENTON, MARYLAND.
4. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST TWO WEEKS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING TO REVIEW PLANS AND BECOME FAMILIAR WITH ALL PERMITS

MARYLAND DEPARTMENT OF THE ENVIRONMENT (410) 901-4020
CAROLINE COUNTY SOIL CONSERVATION DISTRICT (410) 479-1202
TOWN OF DENTON (410) 479-5446
LANE ENGINEERING, LLC. (410) 822-8003

- 5. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS.
6. THE OWNER IS RESPONSIBLE FOR THE ACQUISITION AND DEDICATION OF ALL EASEMENTS, BOTH TEMPORARY AND PERMANENT.
7. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
8. ALL CONCRETE USED FOR MISCELLANEOUS UTILITY WORK SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL CONCRETE USED FOR CURB, GUTTER AND SIDEWALK SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE SHALL BE MANUFACTURED AND DELIVERED BY STATE CERTIFIED MANUFACTURERS. ALL CONCRETE SHALL BE HANDLED AND PLACED ACCORDING TO ACI STANDARDS
9. TRENCHES SHALL NOT REMAIN OPEN OVERNIGHT.
10. SHOP DRAWINGS FOR ALL MATERIALS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
11. ALL UTILITY SYSTEMS MUST BE INSPECTED AND APPROVED BY TOWN OF DENTON OR ITS AUTHORIZED REPRESENTATIVE.

12. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF REDLINED AND ELECTRICAL VERSIONS OF AS-BUILT DRAWINGS TO THE TOWN OF DENTON DEPARTMENT OF PUBLIC WORKS. UTILITIES SHALL BE SURVEY LOCATED AND CERTIFIED BY THE ENGINEER. ANY CHANGES FROM THE APPROVED DRAWINGS REGARDING THE WATER SYSTEM, SANITARY SEWER, STORM SEWER, AND ROADWAYS SHALL BE DOCUMENTED WITH A RED INK PEN ON A CLEAN SET OF DRAWINGS. ALL SERVICE LATERAL LOCATIONS, WATER, SEWER, AND GAS, IF APPLICABLE, SHALL BE MARKED ON DRAWINGS IN A NEARLY ACCURATE AND DISCREET MANNER. APPROVAL OF INFRASTRUCTURE WILL NOT BE GRANTED UNTIL MARKED AS-BUILTS AND ELECTRIC AS-BUILTS HAVE BEEN RECEIVED BY THE TOWN OF DENTON. COORDINATE AND REVIEW ALL CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION.

- 13. THERE SHALL NOT BE ANY PIPE OR DUCT BACK-FILLED UNTIL INSPECTED AND APPROVED BY TOWN OF DENTON OR ITS AUTHORIZED REPRESENTATIVE.
14. CONTRACTOR SHALL COORDINATE WITH TOWN OF DENTON FOR ALL REQUIRED INFRASTRUCTURE INSPECTIONS PRIOR TO CONTINUING WORK. ALL WORK MUST BE INSPECTED AND APPROVED PRIOR TO CONTINUING CONSTRUCTION. ADDITIONAL TESTING OF ANY UTILITY OR INFRASTRUCTURE IMPROVEMENT MAY BE ORDERED WHEN DEEMED NECESSARY BY TOWN OF DENTON.

- 15. ALL SOILS IN THE RIGHT OF WAYS AND STRUCTURAL FILL AREAS SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D-1557 OR ASTM D-2922.
16. PROVIDE LIFT HOOPS IN UNEXPOSED SURFACES TO ACCOMMODATE FIELD PLACEMENT OF VAULTS AND MANHOLES.

- 17. ALL CONSTRUCTION ON OR OFF-SITE SHALL BE MARKED FOR TRAFFIC AND PEDESTRIAN SAFETY. ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". TRAFFIC CONTROL PLANS SHALL BE APPROVED BY TOWN OF DENTON PRIOR TO USE.

- 18. CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT EXISTING PROPERTY CORNERS AND OTHER PROPERTY MONUMENTS. ANY DAMAGE TO, OR SHIFTING OF PROPERTY MARKERS WILL REQUIRE THEM TO BE REPLACED AT THE CONTRACTORS EXPENSE AND BY A MARYLAND LICENSED SURVEYOR.

- 19. CONTRACTOR SHALL COORDINATE WITH UTILITY SERVICE PROVIDERS FOR INSTALLATION OF ALL ELECTRIC, PHONE, CATV, GAS, PROPANE AND OTHER UTILITY SYSTEMS. ALL ELECTRIC, CATV AND/OR TELEPHONE CONDUITS SHALL HAVE MINIMUM COVER AS REQUIRED BY THE PROVIDER.

- 20. CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL SAFETY RELATED ISSUES ON SITE AS REQUIRED BY FEDERAL, STATE AND LOCAL REGULATIONS AS WELL AS BY PRUDENT SITE MANAGEMENT PROTOCOL.

- 21. CONTRACTOR SHALL TAKE CARE TO WORK ONLY WITHIN THE CONSTRUCTION LIMITS OF DISTURBANCE, PROPERTY LINES AND EASEMENT AREAS. ANY ACCIDENTAL OR UNAUTHORIZED DISTURBANCE TO OFF-SITE IMPROVEMENTS OR PROPERTIES SHALL BE REPAIRED/REPLACED SOLELY AT CONTRACTOR'S EXPENSE.

- 22. PROJECT SPECIFIC APPROVALS AND PERMITS AS REQUIRED FOR CONSTRUCTION SHALL BE OBTAINED BY THE OWNER. APPROVALS INCLUDE SOIL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT. PERMITS INCLUDE GRADING, STATE HIGHWAY ADMINISTRATION ACCESS, MDE-NOI AND MDE-WMA. CONTRACTOR SHALL NOT COMMENCE ANY PORTION OF THE WORK WITHOUT VERIFYING AND RECEIVING COPIES OF ALL REQUIRED APPROVALS AND PERMITS FROM TOWN OF DENTON OR THE ENGINEER.

- 23. THE PROVISIONS OF THE PUBLIC WORKS AGREEMENT AND THE DEVELOPERS RIGHTS AND RESPONSIBILITIES AGREEMENT, AS RECORDED AMONG THE LAND RECORDS OF CAROLINE COUNTY, MARYLAND ARE HEREBY INCORPORATED BY REFERENCE, AS THEY RELATE TO SUBDIVISION CONSTRUCTION.

- 24. ANY AND ALL CONSTRUCTION OF HANDICAP FACILITIES SHALL BE IN COMPLIANCE WITH LOCAL REQUIREMENTS, STANDARD DETAILS AND WITH THE CODE OF FEDERAL REGULATIONS-28CFR PART 36-ADA STANDARDS FOR ACCESSIBLE DESIGN-LATEST EDITION. CONTRACTOR IS STRONGLY ENCOURAGED TO CONTACT THE LOCAL APPROVAL AUTHORITY, PRIOR TO CONSTRUCTION, FOR ACCEPTABLE CONSTRUCTION TOLERANCES ASSOCIATED WITH ALL HANDICAP FACILITIES. 28CFR PART 36 DOES NOT PROVIDE SPECIFIC CONSTRUCTION TOLERANCES PERTAINING TO CONSTRUCTED FACILITY APPROVAL. LANE ENGINEERING, LLC. ACCEPTS NO RESPONSIBILITY FOR FACILITIES AS CONSTRUCTED.

WATER SYSTEMS:

- 1. ALL 4" AND LARGER WATER MAIN SHALL BE DUCTILE IRON CLASS 50, ANSI/AWWA C151/A21.51, DOUBLE CEMENT-LINED, OR AWWA C-900 PVC DR18. ALL FITTINGS SHALL BE DUCTILE IRON, CLASS 350, MECHANICAL JOINT, IN ACCORDANCE WITH ANSI/AWWA C110/A21.10-87.

- 2. ALL SERVICES SHALL BE PE-4710, SDR-7 CONSTRUCTED ACCORDING TO STANDARD DETAILS.

- 3. ALL WATER MAIN PIPE, PVC OR DUCTILE IRON, SHALL HAVE A MINIMUM OF 3/4" NO. 57 OR WASHED STONE BEDDING WHEN HIGH GROUND WATER IS ENCOUNTERED. STONE IS NOT REQUIRED AT OTHER TIMES UNLESS DEEMED NECESSARY BY THE TOWN OF DENTON OR ITS REPRESENTATIVE. ALL PVC AND PE PIPE SHALL HAVE A CONTINUOUS 8-GAUGE UNCOATED COPPER TRACER WIRE LOCATED BENEATH THE PIPE AND WARNING TAPE LOCATED 24" ABOVE THE PIPE. THE WIRE SHALL BE STUBBED INTO ALL METER PITS AND VALVE BOXES AND CONNECTED ACROSS PRIVATE PROPERTY WITH SERVICE LINE TO STRUCTURE.

- 4. ALL WATER SERVICE CONNECTIONS TO PVC MAINS SHALL BE MADE WITH STAINLESS STEEL SADDLES, EQUIVALENT TO FORD F5303. NO SADDLES ARE REQUIRED FOR DUCTILE IRON WATER MAINS.

- 5. THE SEPARATION BETWEEN THE WATER AND SANITARY SEWER SYSTEMS SHALL BE A MINIMUM OF 10' Laterally and 1' VERTICALLY. CONCRETE ENCASEMENT IS REQUIRED IF THIS SEPARATION IS NOT MET.

- 6. ALL VALVES SHALL BE RESILIENT-SEATED GATE VALVES (ANSI/AWWA C509) RATED FOR 350 PSI WORKING PRESSURE, OPEN COUNTER-CLOCKWISE.

- 7. ALL MAINS SHALL BE FILLED WITH POTABLE WATER ONLY, AND ONLY BY A THE TOWN OF DENTON REPRESENTATIVE. AT NO TIME SHALL THE CONTRACTOR OPERATE ANY VALVES OR FIRE HYDRANTS WITHOUT A THE TOWN OF DENTON REPRESENTATIVE BEING PRESENT.

- 8. THE PROPOSED WATER MAIN SHALL NOT BE PHYSICALLY CONNECTED TO THE EXISTING WATER SYSTEM UNTIL ALL TESTS HAVE PASSED AND BEEN APPROVED; HYDROSTATIC, CHLORINE RESIDUAL, BACTERIA AND OTHERS DEEMED APPROPRIATE.

- 9. UNLESS OTHERWISE NOTED, PIPE ELEVATIONS FOR WATER MAINS AND FORCE MAINS REFER TO TOP OF PIPE AND SANITARY SEWER AND STORM DRAIN ELEVATIONS REFER TO THE INVERT. MINIMUM COVER OVER THE WATER MAIN SHALL BE 42" FROM PROPOSED GRADE UNLESS OTHERWISE NOTED ON THE PLANS.

- 10. CONCRETE BUTTRESSES IN ACCORDANCE WITH THE TOWN OF DENTON STANDARDS, ARE REQUIRED FOR ALL WATER MAINS, FITTINGS AND APPURTENANCES.

- 11. WATER MAIN VALVES, VALVE BOXES AND FIRE HYDRANTS SHALL BE AS SPECIFIED AND CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAILS.

- 12. PIPE DEFLECTIONS FOR WATER MAIN SHALL BE 3.5 DEGREES MAXIMUM OR AS ALLOWED BY THE MANUFACTURER.

- 13. DOMESTIC WATER AND FIRE PROTECTION SERVICE SIZES PROVIDED BY THE PLUMBING ENGINEER OF RECORD, COORDINATE W/ ARCHITECTURAL PLANS.

SANITARY SEWER:

- 1. ALL GRAVITY SEWER MAINS SHALL BE PVC SDR-35, SIZES 6" AND GREATER, UNLESS OTHERWISE NOTED. ALL 6" GRAVITY SEWER LATERALS SHALL PVC (SDR-35). IF COVER IS LESS THAN 48", ALL PIPE, MAINS AND LATERALS, SHALL BE CLASS 50 DUCTILE IRON.
2. ALL LATERALS SHALL BE LAID AT A MINIMUM OF 2% SLOPE UNLESS OTHERWISE APPROVED.
3. ALL LATERALS ARE TO BE 6" PVC (SDR-35).
4. APPROVAL OF MAIN SHALL NOT BE GRANTED UNTIL, A) THE MAIN HAS PASSED THE UNI-BELL LOW-PRESSURE AIR TEST, B) A 95% MANDREL HAS SUCCESSFULLY BEEN PULLED THROUGH ALL MAINS, C) VACUUM TEST HAS BEEN SUCCESSFULLY COMPLETED ON ALL MANHOLES AND D) GRAVITY SYSTEM IS OTHERWISE COMPLETED AND APPROVED.
5. SEWER CLEANOUTS ARE REQUIRED AT PROPERTY LINE AND WITHIN 5' OF BUILDING FOUNDATION. IF LATERAL IS GREATER THAN 75' OR THERE IS A CHANGE IN DIRECTION, ADDITIONAL CLEANOUTS ARE REQUIRED.
6. SANITARY SEWER MANHOLES, MAINS, AND LATERALS SHALL BE CONSTRUCTED AND BACK-FILLED IN ACCORDANCE WITH THE TOWN OF DENTON STANDARD DETAILS AND SPECIFICATIONS.
7. DETECTOR TAPE SHALL BE PLACED ABOVE ALL SANITARY SEWER MAINS AND LATERALS AT A MINIMUM OF 12" BELOW GRADE.
8. 8-GAUGE COATED TRACER WIRE IS REQUIRED FOR ALL SEWER LATERALS.

STORM DRAIN:

- 1. INLETS SHALL BE PRECAST CONCRETE. PIPE SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
2. ALL DRAINAGE STRUCTURES AND TRENCHES SHALL REMAIN FUNCTIONAL DURING CONSTRUCTION.
3. ALL ADJUSTMENTS TO INLETS, RINGS, TOPS MADE WITH BRICK SHALL STRICTLY COMPLY WITH SPECIFICATION SECTION 10 OF THE TOWN OF DENTON STANDARDS.
4. BASE UNIT DEPTH TO BE 3' MINIMUM. USE ECCENTRIC CORE UNIT ONLY WHERE RIM TO INVERT DEPTH IS GREATER THAN 5'-9"
5. ALL STORMDRAIN MANHOLES ARE TO BE PER TOWN OF DENTON STANDARD DETAILS AND CONFORM TO ASTM C 478, LATEST REVISION.
6. ALL COVER TO BE LABELED, "STORMDRAIN".

GAS:

- 1. IF A PROPANE SYSTEM IS PROPOSED, ALL PORTIONS OF THE SYSTEM SHALL BE DESIGNED AND INSTALLED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH ON-SITE UTILITY WORK INCLUDING ARRANGING THE SCHEDULE WITH THE TOWN OF DENTON AND ALL SUBCONTRACTORS.

SOIL EROSION AND SEDIMENT CONTROL:

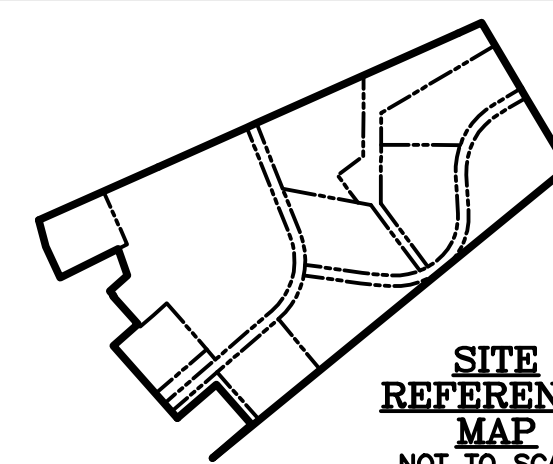
- 1. ALL WORK SHALL COMPLY WITH ALL PROVISIONS OF THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR THE MOST RECENT EDITION, ISSUED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
2. THE MEASURES REQUIRED IN THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL APPLY AS SHOWN ON THIS PLAN, AND BE COMPLETE AND IN SERVICE PRIOR TO CONSTRUCTION.
3. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROMOTE POSITIVE DRAINAGE AND ALSO STABILIZED WITH 4" TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, CORRECTIONS SHALL BE MADE AND TOPSOIL, SEED, AND MULCH SHALL BE REPLACED UNTIL SETTLEMENT SUBSIDES. (SEE SOIL EROSION AND SEDIMENT CONTROL NOTES, DETAILS, AND SPECIFICATIONS).

WETLANDS:

- 1. ANY WETLANDS DELINEATION SHOWN HEREON IS BASED UPON THE "CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL", DATED JANUARY, 1987. ANY REFERENCED WETLANDS BOUNDARY IS A RESULT OF THE BEST AVAILABLE INFORMATION AT THE TIME OF THE DELINEATION. THE FINAL AUTHORITY FOR ALL WETLANDS DELINEATION RESTS WITH THE ARMY CORPS OF ENGINEERS AND/OR THE ENVIRONMENTAL PROTECTION AGENCY. A JURISDICTIONAL DETERMINATION HAS BEEN RECEIVED FROM THE ARMY CORP OF ENGINEERS AND RESULTING WETLANDS AND BUFFERS ARE SHOWN ON THESE DRAWINGS.

TRAFFIC:

- 1. TEMPORARY TRAFFIC CONTROL MEASURES, METHODS AND DEVICES AND ALL PROPOSED SIGNAGE AND THERMOPLASTIC STRIPING WORK SHALL BE IN STRICT COMPLIANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND AS NECESSARY.
2. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY TO INCLUDE VEHICULAR AND PEDESTRIAN SAFETY AT ALL TIMES.
3. PROVISIONS SHALL BE MADE, WITH APPROPRIATE SIGNAGE PROVIDED AS NEEDED, TO ALLOW ACCESS TO PROPERTIES BY RESIDENTS OR BUSINESS PATRONS.
4. CONTRACTOR SHALL NOTIFY CAROLINE COUNTY DEPARTMENT OF PUBLIC WORKS AND EMERGENCY MANAGEMENT SERVICES PRIOR TO ANY ROAD CLOSURES AND SHALL COORDINATE TRAFFIC PATTERNS TO MINIMIZE TRANSPORTATION DISRUPTION.
5. TOWN OF DENTON, OR THE ENGINEER, SHALL RETAIN THE RIGHT TO REQUIRE MODIFICATIONS TO TEMPORARY TRAFFIC CONTROL MEASURES BEING UTILIZED IN THE EVENT THERE EXISTS A POTENTIAL SAFETY OR ACCESS ISSUE RESULTING FROM CONSTRUCTION ACTIVITIES.

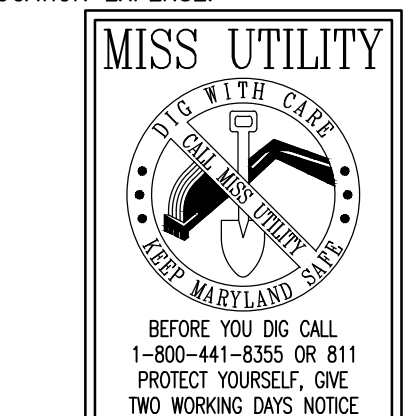


REVISIONS TO APPROVED PLANS

Table with 4 columns: No., DATE, DESCRIPTION, BY. The table is currently empty.

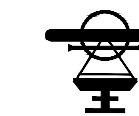
WARNING!!

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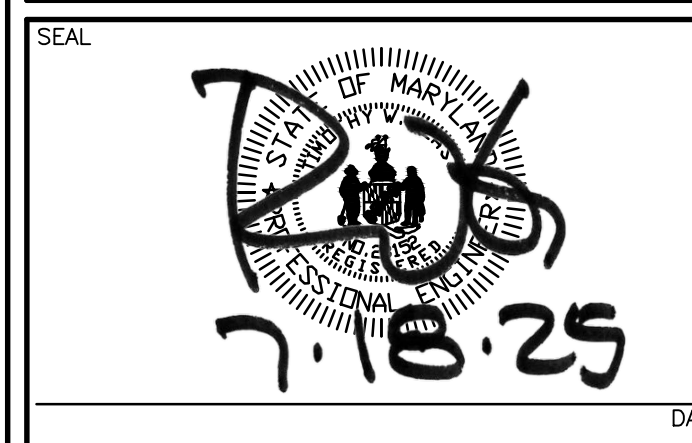
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Civil Engineers • Land Planning • Land Surveyors



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15 Washington St., Centreville, MD 21613 (410) 221-0818
354 Pennsylvania Ave., Centreville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23152, Expiration Date: 7/5/2025.



PROJECT NOTES

DOUBLE HILLS ROAD INDUSTRIAL PARK

IN THE TOWN OF DENTON
CAROLINE COUNTY, MARYLAND
TAX MAP 108, PARCEL 64

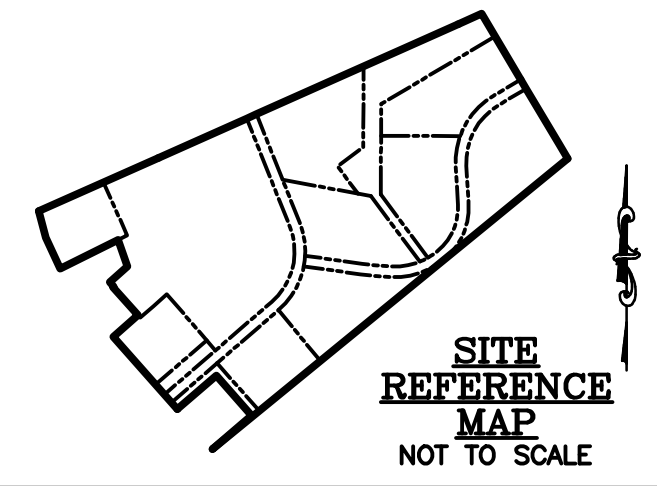
Table with 3 columns: ISSUED/REVISED FOR, DATE, BY. It lists various approvals and their dates.

Table with 2 columns: SHEET No. (G-102) and SCALE (AS NOTED). It also includes JOB No. (230379) and FILE No. (8562).

	EXISTING	PROPOSED
<b>SURVEY MONUMENTATION</b>		
IRON ROD		
CONCRETE MONUMENT		
STONE		
COMPUTED POINT		
GPS MONUMENT		
BENCH MARK		
NGS MONUMENT		
USGS MONUMENT		
PROPERTY LINE		
<b>CABLE TV</b>		
CABLE TV PEDESTAL		
OVERHEAD CABLE TV		
UNDERGROUND CABLE TV		
<b>ELECTRICAL</b>		
CIRCUIT BREAKER PANEL		
OUTLET		
CABINET		
TRANSFORMER BOX		
METER		
HANDHOLE		
TRANSFORMER TOWER		
ELECTRIC OVERHEAD		
ELECTRIC UNDERGROUND		
<b>GAS</b>		
UNDERGROUND GAS TANK		
VENT		
BLOW OFF		
FILLER PIPE		
METER		
STOP BOX		
SHUTOFF VALVE		
GAS MAIN		
<b>OVER HEAD UTILITIES</b>		
GUY WIRE ANCHOR		
LAMP POLE		
BOLLARD/SPOT LIGHTING		
SINGLE OVERHANG LIGHT POST		
DOUBLE OVERHANG LIGHT POST		
UTILITY POLE		
OVER HEAD UTILITY LINES		
<b>SANITARY SEWER</b>		
CLEAN OUT		
PUMPSTATION MANHOLE		
SANITARY SEWER MANHOLE		
SEWER VENT		
SEWER VALVE		
SEPTIC TANK		
SANITARY SEWER		
FORCE MAIN		
VACUUM SEWER		
ACCESS POINT		
VALVE PIT		
<b>STORMDRAIN</b>		
ROUND CATCH BASIN		
SQUARE CATCH BASIN		
CURB INLET		
CISTERN		
CULVERT END SECTION		
ROUND INLET		
SQUARE INLET		
STORMDRAIN MANHOLE		
STORMDRAIN CLEANOUT		
DOWNSPOUT		
STORMDRAIN		
<b>TELEPHONE</b>		
TELEPHONE MANHOLE		
TELEPHONE PEDESTAL		
PHONE BOOTH		
TELEPHONE		
UNDERGROUND TELEPHONE		

	EXISTING	PROPOSED
<b>UNDERGROUND UTILITIES</b>		
UTILITY MANHOLE		
<b>WATER</b>		
FIRE HYDRANT		
REDUCER		
WELL		
WATER METER		
VALVE		
CAP		
CROSS		
TEE		
90DEG ELBOW		
45DEG ELBOW		
22DEG ELBOW		
11DEG ELBOW		
THRUST BLOCK		
BLOW OFF		
SPRINKLER HEAD		
WATER SPIGOT		
WATER MAIN		
SERVICE LEAD		
<b>TOPOGRAPHIC FEATURES</b>		
UNDERGROUND PROPANE TANK		
FLAG POLE		
HVAC UNIT		
PARKING METER		
ROUND POST		
SQUARE POST		
RAILROAD SIGNAL		
SATELLITE DISH		
TRAFFIC SIGNAL		
SINGLE POST SIGN		
DOUBLE POST SIGN		
UNSPECIFIED FENCE		
BARBED WIRE FENCE		
CHAIN LINK FENCE		
WOOD FENCE		
DITCH TOP OF BANK		
DEPRESSION		
MAJOR CONTOUR		
MINOR CONTOUR		
<b>VEGETATION</b>		
STUMP		
TREE LINE		
<b>ENVIRONMENTAL</b>		
MONITORING WELL		
PIEZOMETER		
APPROXIMATE SOIL BORING LOCATION		
NON-TIDAL WETLAND		
TIDAL WETLAND		
NON-TIDAL WETLAND LIMIT		
TIDAL WETLAND LIMIT		
FLOOD PLAIN		
SOIL BOUNDARY		
CRITICAL AREA BOUNDARY		
<b>SOIL EROSION CONTROL</b>		
SILT FENCE		
SUPER SILT FENCE		
FILTER LOG		
LIMITS OF DISTURBED AREA (LOD)		
LOD AND SILT FENCE		
LOD AND SUPER SILT FENCE		
LOD AND FILTER LOG		
<b>PAVEMENT</b>		
DRAINAGE FLOW INDICATOR		
HANDICAP PARKING		
GUARDRAIL		
HEAVY DUTY PAVEMENT		
REGULAR DUTY PAVEMENT		
CONCRETE		
<b>MISCELLANEOUS</b>		
EXISTING IMPROVEMENTS TO BE DEMOLISHED		
2' WIDE, 1.5" DEEP MILL AND OVERLAY FOR SMOOTH PAVEMENT TRANSITION		

ABBREVIATIONS	
ADA	AMERICANS WITH DISABILITIES ACT
AGIP	AT GRADE INLET PROTECTION
BC	BACK OF CURB
BM	BENCHMARK
BRL	BUILDING RESTRICTION LINE
CES	CONCRETE END SECTION
C	CENTERLINE
CHRD	CHORD
CIP	CURB INLET PROTECTION
CMP	CORRUGATED METAL PIPE
CY	CUBIC YARD
DI	DUCTILE IRON
DIMJ	DUCTILE IRON MECHANICAL JOINT
E	EAST
EL/ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EX	EXISTING
FEE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
FES	FLARED END SECTION
FL	FLOWLINE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
I	INLET
INV	INVERT
KV	KILOVOLTS
L	ARC LENGTH
LF	LINEAR FEET
LOD	LIMITS OF DISTURBED AREA
LP	LOW POINT
LT	LEFT
MAX	MAXIMUM
MH	MANHOLE
MHW	MEAN HIGH WATER
MIN	MINIMUM
MLW	MEAN LOW WATER
MSHA	MARYLAND STATE HIGHWAY ADMINISTRATION
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
N	NORTH
NO	NUMBER
PC	POINT OF CURVATURE
PE	POLYETHYLENE
PT	POINT OF TANGENCY
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
Q	DISCHARGE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT-OF-WAY
RT	RIGHT
S	SOUTH
SCE	STABILIZED CONSTRUCTION ENTRANCE
SDCO	STORMDRAIN CLEANOUT
SDMH	STORMDRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SF	SILT FENCE
Sf	FRICTION SLOPE
SHA	STATE HIGHWAY ADMINISTRATION
SIP	STANDARD INLET PROTECTION
SL	STREET LIGHT
SSF	SUPER SILT FENCE
STA	STATION
STD	STANDARD
SWM	STORMWATER MANAGEMENT
TAN	TANGENT
TB	THRUST BLOCK
TBR	TO BE REMOVED
TC	TOP OF CURB
TCP	TERRACOTTA PIPE
TYP	TYPICAL
UE	UNDERGROUND ELECTRIC
UL	UNDERGROUND LIGHT CABLE
UT	UNDERGROUND TELEPHONE
V	VELOCITY
VCP	VITRIFIED CLAY PIPE
W	WEST
W/	WITH



REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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SEAL  
  
 DATE: 7.18.25

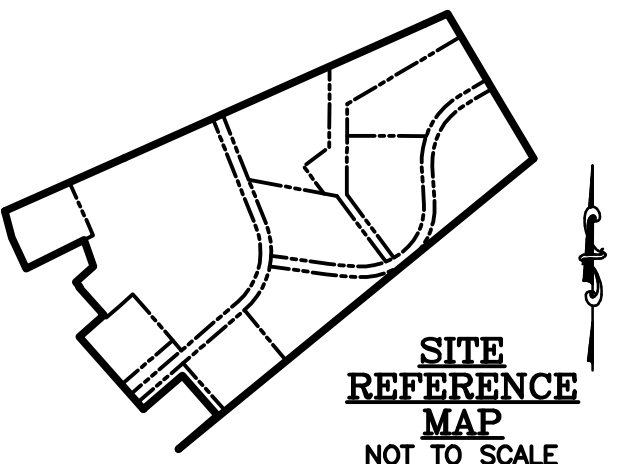
**LEGEND & ABBREVIATIONS**  
 DOUBLE HILLS ROAD INDUSTRIAL PARK  
 IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	G-103	DATE:	07/17/25
SCALE:	AS NOTED	JOB No.	230379
		FILE No.	B562

Date: 07/17/2025 - 3:02pm User: bwallace Project Manager: TWG  
 Drawing Path: J:\2025\0300\230379\Civil\3D-230379 (Dwg) \Plot\GLS-PLT-230379.dwg | G-103  
 XREF File(s): CBS-BASE-2436-230379

EXISTING SANITARY STRUCTURE TABLE				
STRUCTURE	RIM ELEV (FT)	INV IN (FT)	INV OUT (FT)	NOTES
SSMH-1	46.97	42.97 (NE)		8" PVC
		42.95 (SW)		8" PVC
			42.87 (N)	8" PVC
SSMH-2	47.76	44.34 (SW)		8" PVC
		44.39 (NE)		8" PVC
			44.30 (W)	8" PVC
SSMH-3	44.19	36.54 (SE)		8" PVC
			36.49 (NW)	8" PVC
SSMH-4	44.71	37.90 (SE)		8" PVC
			37.63 (NW)	8" PVC
SSMH-5				8" PVC



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No.	DATE	DESCRIPTION	BY

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SEAL  
  
 DATE

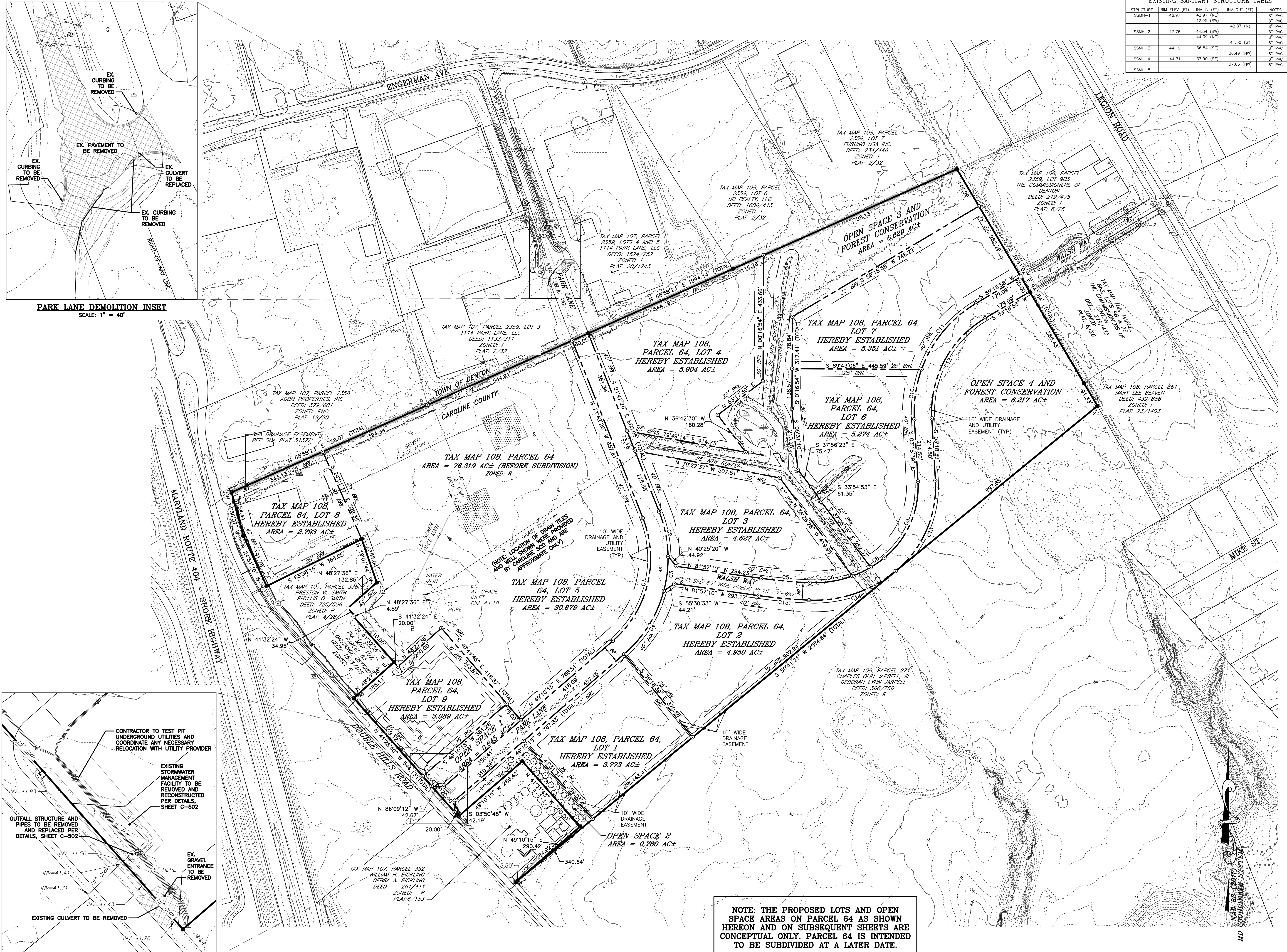
**EXISTING CONDITIONS AND DEMOLITION PLAN**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

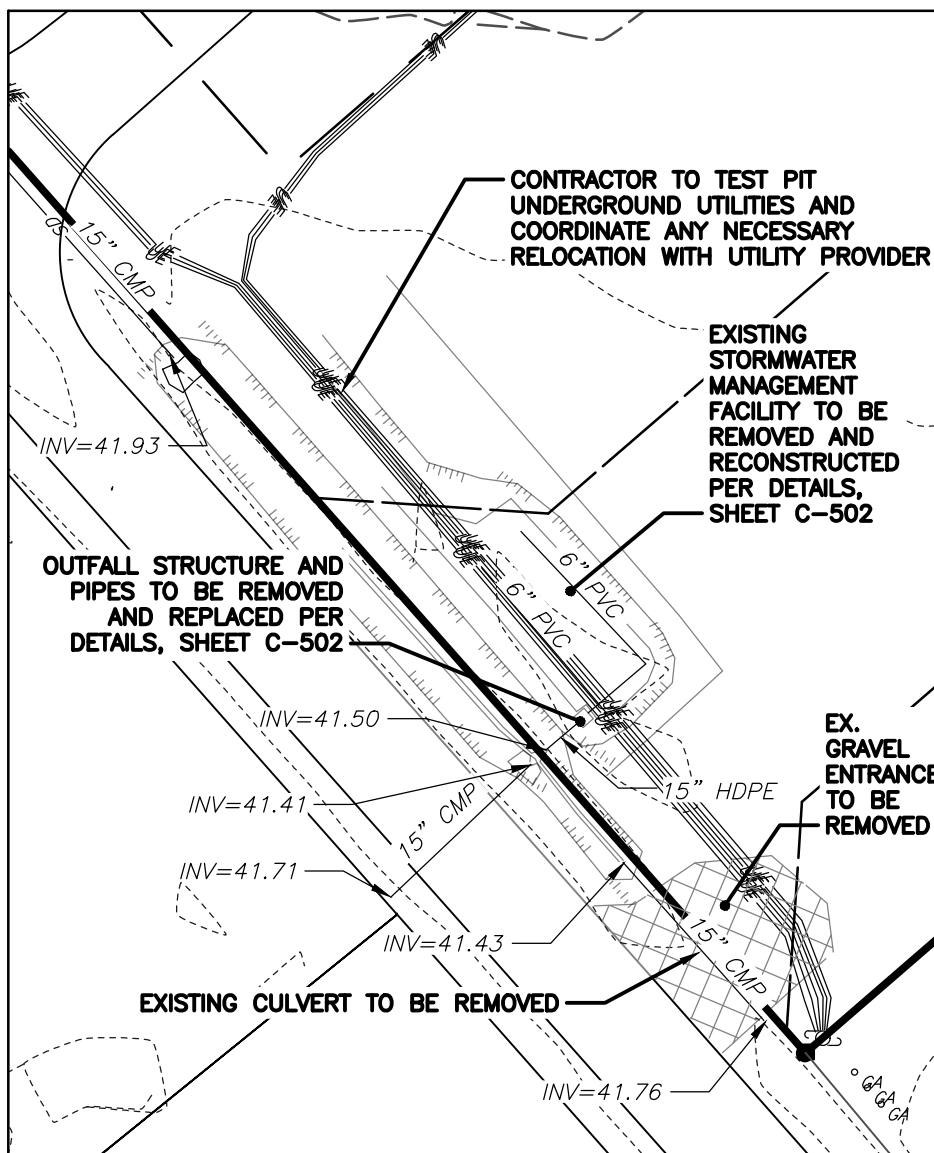
IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	07/17/25
V-101	
SCALE:	JOB No. 230379
AS NOTED	FILE No. B562

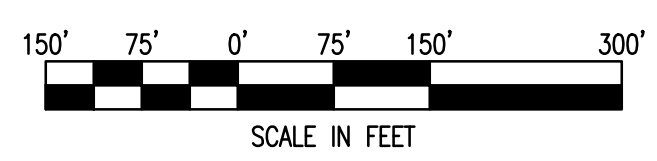


**PARK LANE DEMOLITION INSET**  
 SCALE: 1" = 40'



**DOUBLE HILLS ROAD DEMOLITION INSET**  
 SCALE: 1" = 40'

Date: 07/17/2025 - 3:03pm User: bwallace Project Manager: TWG  
 Drawing Path: J:\2024\0300\230379\Draw\Title\CDP-PLTS-230379.dwg | V-101  
 XREF File(s): VLD-BASE-230379/RLD-BASE-230379/RSF-BASE-2436-BASE-230379-LDAR

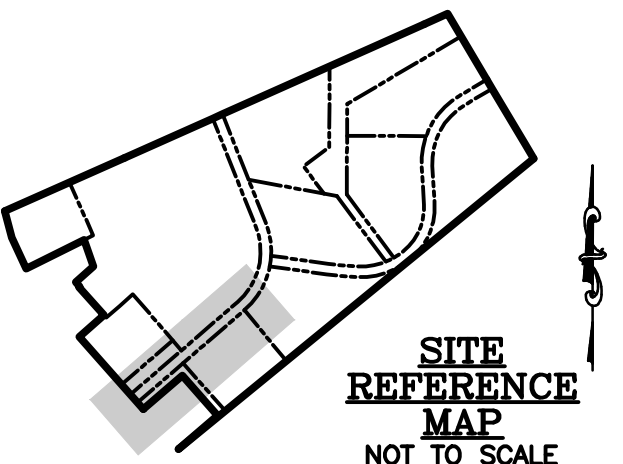






**TEMPORARY SEDIMENT TRAP No. 1**  
**MICRO-BIORETENTION AREA (M-6) No. 1**  
 FLOOR ELEV = 43.75'  
 FLOOR AREA = 1,250 SF  
 FILTER BED DEPTH = 2.0'

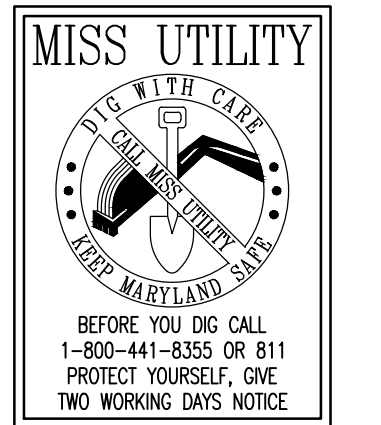
11+20.88 PARK LANE =  
 21+66.71 WALSH WAY  
 N 438448.75, E 1648856.98



REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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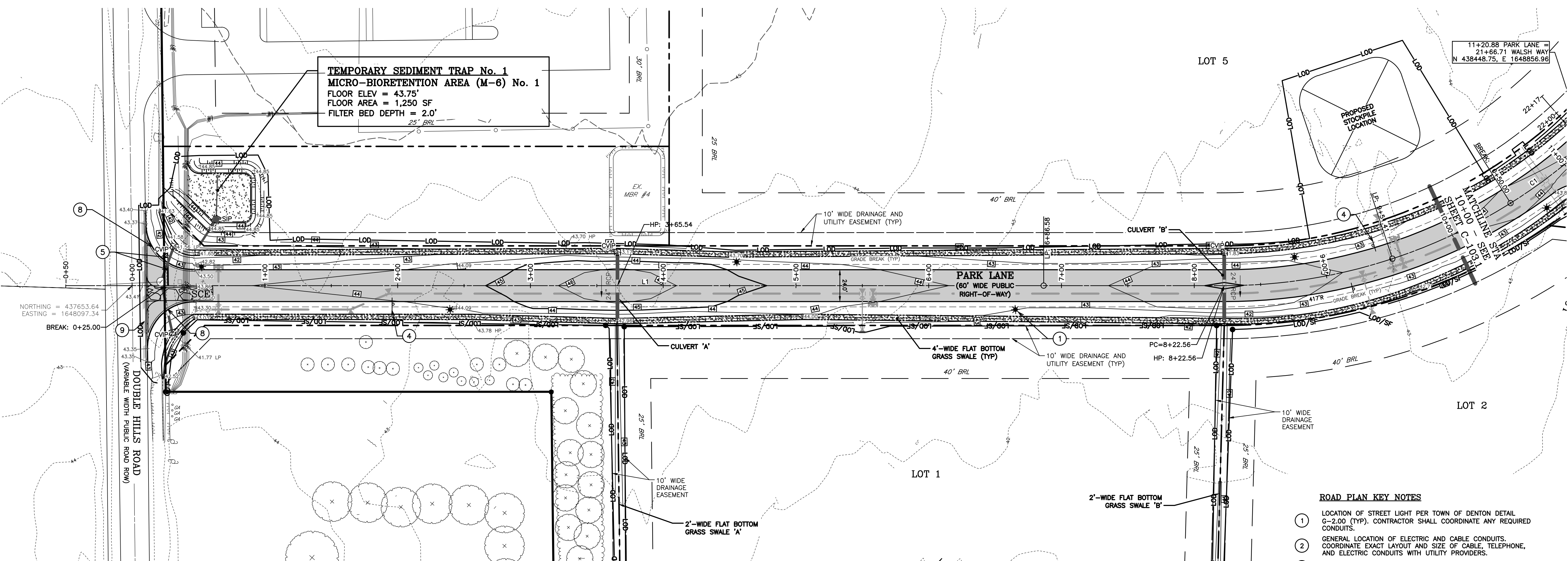
**PARK LANE PLAN & PROFILE**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	C-103	DATE	07/17/25
SCALE:	AS NOTED	JOB No.	230379
		FILE No.	B562

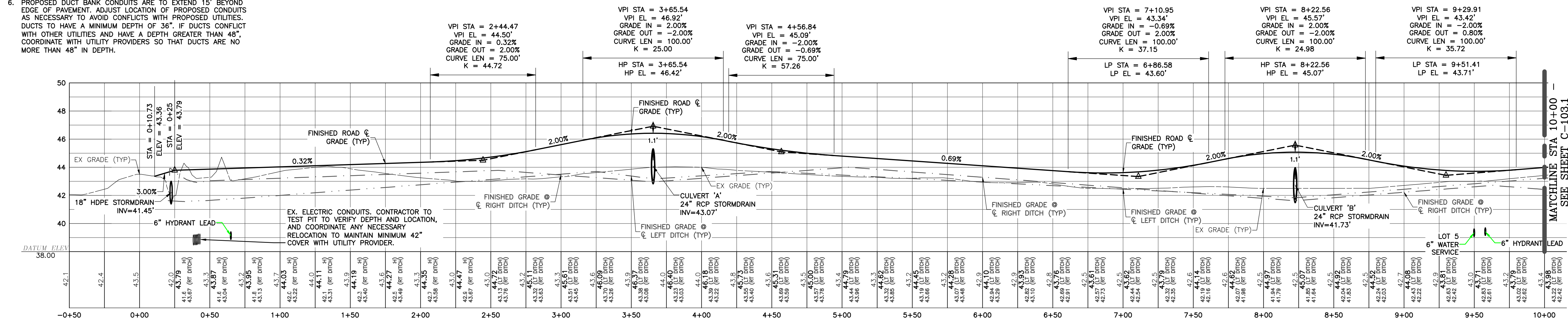


**PARK LANE PLAN VIEW**  
 STA -0+50.00 (BEGIN) TO STA 10+00.00  
 SCALE: 1" = 40'

- NOTES:**
- FILL AREA IN STRUCTURAL/ROADWAY AREAS TO BE CONSTRUCTED OF APPROVED SELECT BORROW OR BANK RUN GRAVEL AND COMPACTED IN 8" LIFTS TO 95% MODIFIED PROCTOR DENSITY. TYPICAL OF ALL FILL AREAS. THIRD PARTY TESTING REQUIRED.
  - REFER TO TYPICAL ROAD SECTIONS ON SHEET C-505.
  - STORM DRAIN, WATER, AND SEWER SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE SHEETS FOR CONSTRUCTION INFORMATION.
  - ALL DIMENSIONS AND RADII REFER TO FLOWLINE OF CURB OR EDGE OF PAVEMENT.
  - A MINIMUM OF 2 FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB/EDGE OF PAVEMENT AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.
  - PROPOSED DUCT BANK CONDUITS ARE TO EXTEND 15' BEYOND EDGE OF PAVEMENT. ADJUST LOCATION OF PROPOSED CONDUITS AS NECESSARY TO AVOID CONFLICTS WITH PROPOSED UTILITIES. DUCTS TO HAVE A MINIMUM DEPTH OF 36". IF DUCTS CONFLICT WITH OTHER UTILITIES AND HAVE A DEPTH GREATER THAN 48", COORDINATE WITH UTILITY PROVIDERS SO THAT DUCTS ARE NO MORE THAN 48" IN DEPTH.

ASPHALT PAVEMENT PER TYPICAL STREET SECTION, SHEET C-505

- ROAD PLAN KEY NOTES**
- LOCATION OF STREET LIGHT PER TOWN OF DENTON DETAIL G-2.00 (TYP). CONTRACTOR SHALL COORDINATE ANY REQUIRED CONDUITS.
  - GENERAL LOCATION OF ELECTRIC AND CABLE CONDUITS. COORDINATE EXACT LAYOUT AND SIZE OF CABLE, TELEPHONE, AND ELECTRIC CONDUITS WITH UTILITY PROVIDERS.
  - LOCATION OF ELECTRIC TRANSFORMER (TYP). COORDINATE WITH CHOPTANK ELECTRIC.
  - 24"X30" 25-MPH SPEED LIMIT SIGN (R2-1). REFERENCE SIGN POST DETAIL.
  - STOP SIGN (30"X30" R1-1) & 24" STOP BAR, STREET NAME SIGNS PER TOWN OF DENTON DETAIL PW-8.00.
  - (2) 6" PVC INTERSECTION DUCT BANK. SEE NOTE #6, THIS SHEET.
  - BARRICADE PER TOWN OF DENTON DETAIL G-1.00
  - COMBINATION CURB & GUTTER PER TOWN OF DENTON DETAIL PW-2.00. 2' CURB NOSEDOWNS AT TERMINAL ENDS.
  - 2' WIDE BY 1/4" DEEP SURFACE PAVEMENT MILL & OVERLAY TIE-IN TO EXISTING PAVEMENT



**PARK LANE CENTERLINE PROFILE**  
 STA -0+50.00 (BEGIN) TO STA 10+00.00  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)

Date: 07/17/2025 - 3:03pm User: bwallace Project Manager: TWG  
 Drawing Path: J:\2025\0300\230379 (Dwg)\P\PR-PLS-ROAD-230379.dwg | C-103 (PARK)  
 XREF File(s): VLD-BASE-230379/CSP-BASE-230379/PR-SRCE-230379/CSF-BASE-230379/SD-BASE-230379/RD-BASE-230379/MATCH-BASE-230379/LLP-BASE-230379







WALSH WAY ALIGNMENT LINE & CURVE TABLE						
LINE/CURVE	START STA	END STA	LENGTH (FT)	RADIUS (FT)	LINE/CHORD DIRECTION	
L4	-0+50.00	1+82.36	232.361		S58° 58' 29.60"W	
L5	1+82.36	3+61.46	179.094		S59° 18' 58.28"W	
C2	3+61.46	4+62.34	100.887	405.000	S52° 10' 47.70"W	
C3	4+62.34	8+04.14	341.798	405.000	S20° 51' 58.86"W	
L6	8+04.14	10+18.64	214.502		S03° 18' 39.41"E	
C4	10+18.64	13+43.80	325.156	345.000	S23° 41' 20.94"W	
C5	13+43.80	16+43.37	299.568	412.540	S71° 29' 31.31"W	
C6	16+43.37	18+14.04	170.674	1700.000	N84° 49' 44.51"W	
L7	18+14.04	22+16.71	402.671		N81° 57' 10.37"W	

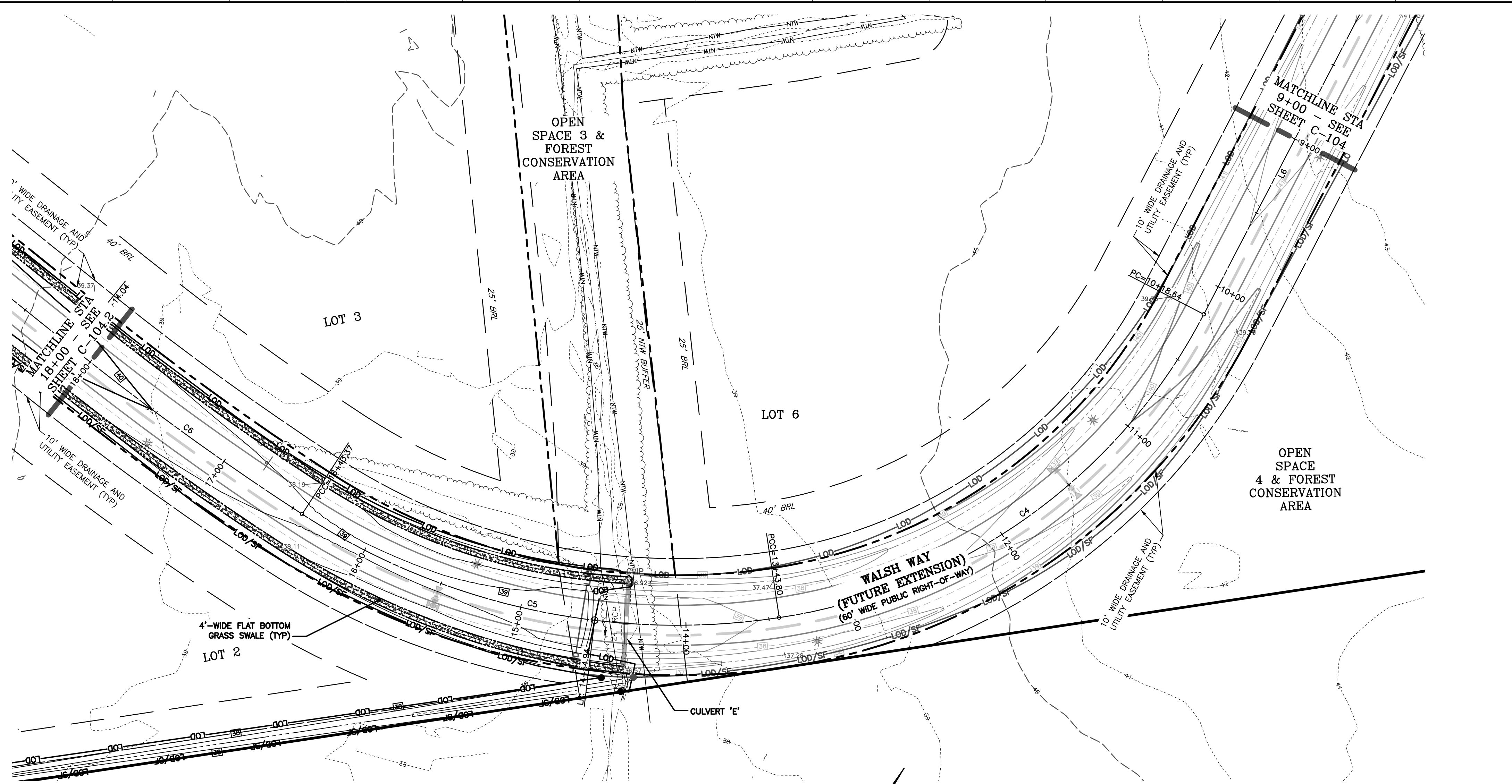
**NOTES:**

- FILL AREA IN STRUCTURAL/ROADWAY AREAS TO BE CONSTRUCTED OF APPROVED SELECT BORROW OR BANK RUN GRAVEL AND COMPACTED IN 8" LIFTS TO 95% MODIFIED PROCTOR DENSITY. TYPICAL OF ALL FILL AREAS. THIRD PARTY TESTING REQUIRED.
- REFER TO TYPICAL ROAD SECTIONS ON SHEET C-505.
- STORM DRAIN, WATER, AND SEWER SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE SHEETS FOR CONSTRUCTION INFORMATION.
- ALL DIMENSIONS AND RADII REFER TO FLOWLINE OF CURB OR EDGE OF PAVEMENT.
- A MINIMUM OF 2 FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB/EDGE OF PAVEMENT AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.
- PROPOSED DUCT BANK CONDUITS ARE TO EXTEND 15' BEYOND EDGE OF PAVEMENT. ADJUST LOCATION OF PROPOSED CONDUITS AS NECESSARY TO AVOID CONFLICTS WITH PROPOSED UTILITIES. DUCTS TO HAVE A MINIMUM DEPTH OF 36". IF DUCTS CONFLICT WITH OTHER UTILITIES AND HAVE A DEPTH GREATER THAN 48", COORDINATE WITH UTILITY PROVIDERS SO THAT DUCTS ARE NO MORE THAN 48" IN DEPTH.
- REFER TO SHEET C-201 FOR STORM DRAIN PROFILES.

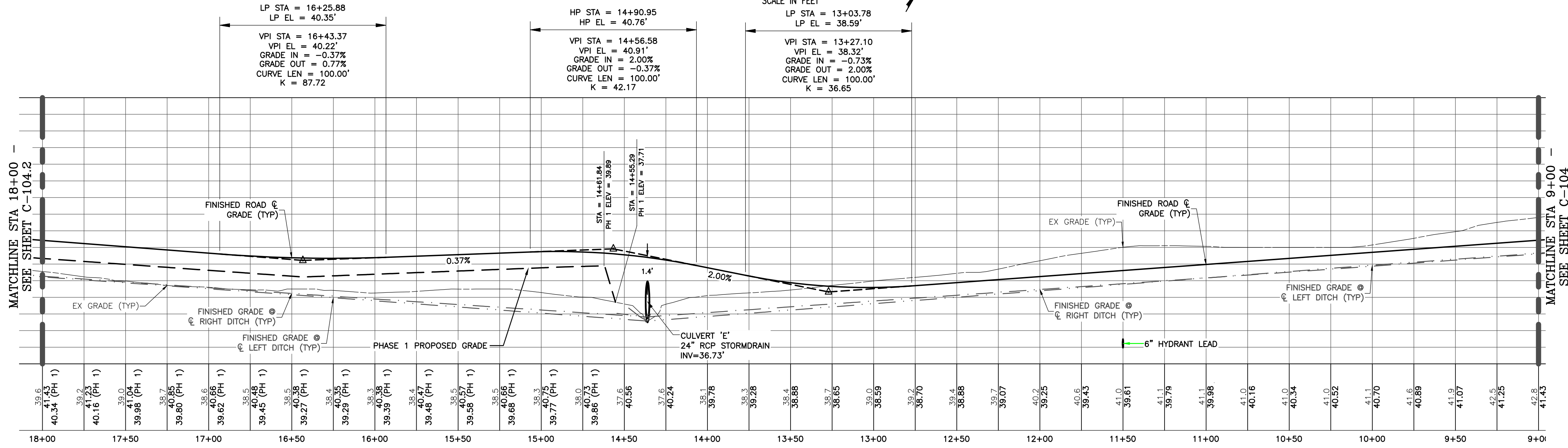
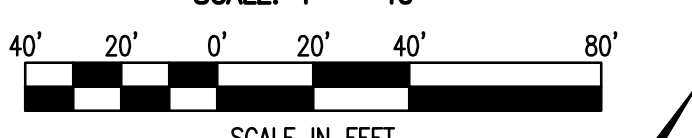
ASPHALT PAVEMENT PER TYPICAL STREET SECTION, SHEET C-505

**ROAD PLAN KEY NOTES**

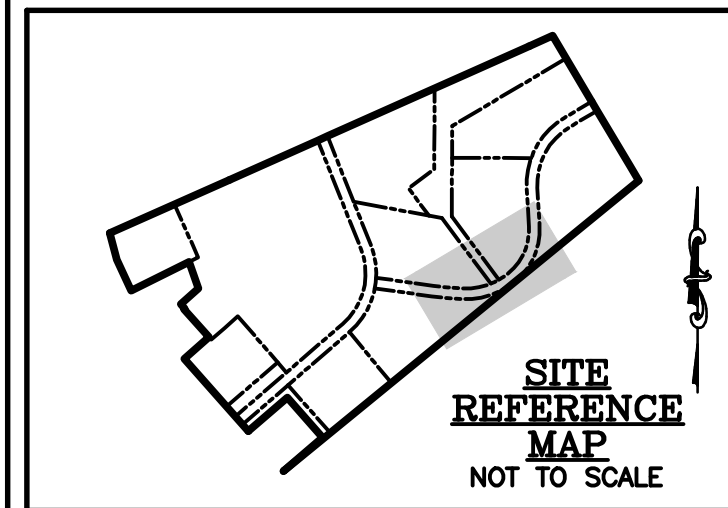
- LOCATION OF STREET LIGHT PER TOWN OF DENTON DETAIL C-2.00 (TYP). CONTRACTOR SHALL COORDINATE ANY REQUIRED CONDUITS.
- GENERAL LOCATION OF ELECTRIC AND CABLE CONDUITS. COORDINATE EXACT LAYOUT AND SIZE OF CABLE, TELEPHONE, AND ELECTRIC CONDUITS WITH UTILITY PROVIDERS.
- LOCATION OF ELECTRIC TRANSFORMER (TYP). COORDINATE WITH CHOPTANK ELECTRIC.
- 24"x30" 25-MPH SPEED LIMIT SIGN (R2-1). REFERENCE SIGN POST DETAIL.
- STOP SIGN (30"x30" R1-1) & 24" STOP BAR. STREET NAME SIGNS PER TOWN OF DENTON DETAIL PW-8.00.
- (2) 6" PVC INTERSECTION DUCT BANK. SEE NOTE #6, THIS SHEET.
- BARRICADE PER TOWN OF DENTON DETAIL G-1.00.
- COMBINATION CURB & GUTTER PER TOWN OF DENTON DETAIL PW-2.00. 2" CURB NOSEDOWNS AT TERMINAL ENDS.
- 2" WIDE BY 1 1/2" DEEP SURFACE PAVEMENT MILL & OVERLAY TIE-IN TO EXISTING PAVEMENT



**WALSH WAY PLAN VIEW**  
STA 9+00.00 TO STA 18+00.00  
SCALE: 1" = 40'



**WALSH WAY CENTERLINE PROFILE**  
STA 9+00.00 TO STA 18+00.00  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



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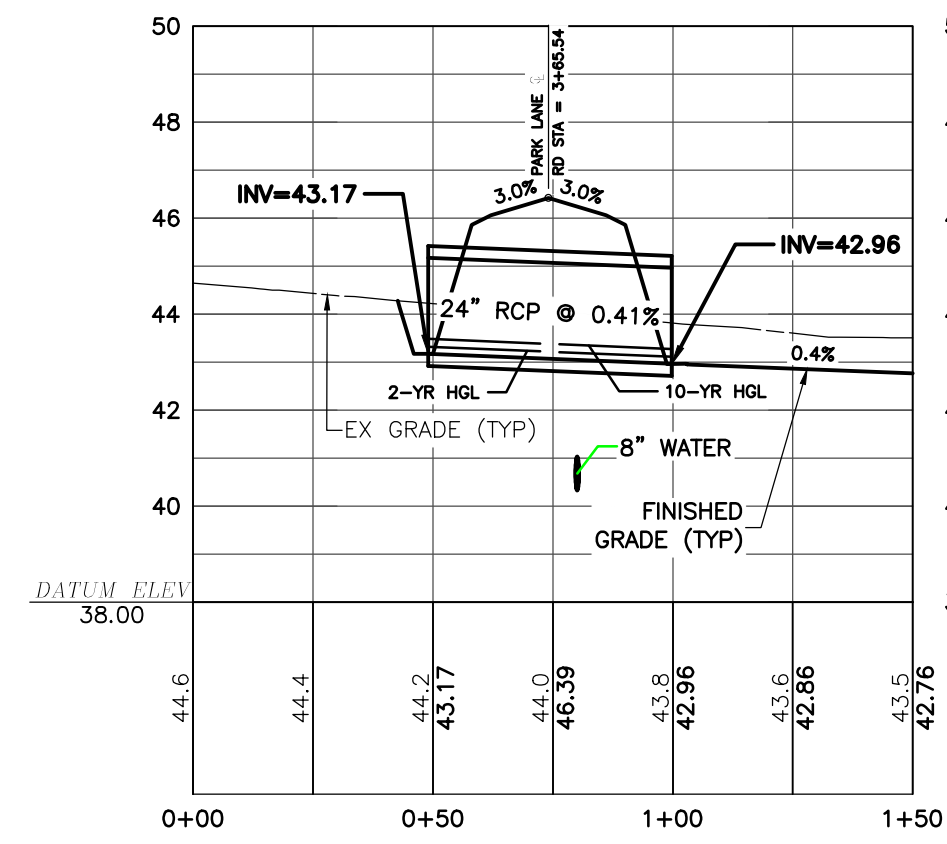
**WALSH WAY PLAN & PROFILE**  
**DOUBLE HILLS ROAD INDUSTRIAL PARK**  
IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND  
TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

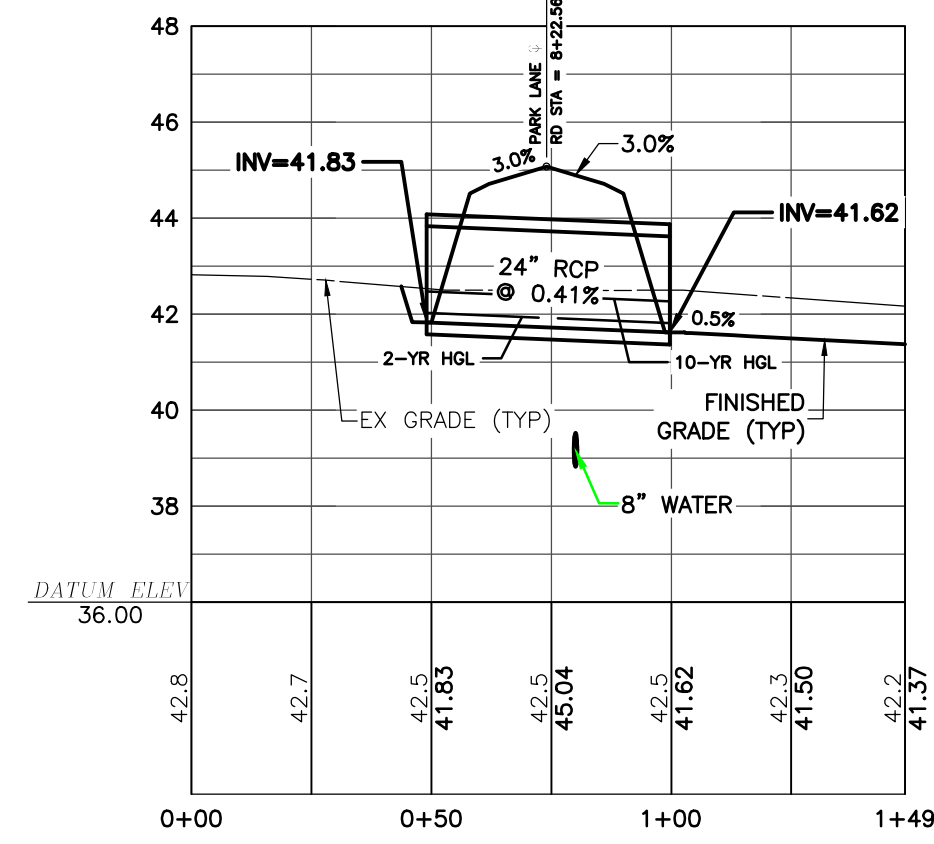
SHEET No. <b>C-104.1</b>	DATE: 07/17/25
SCALE: AS NOTED	JOB No. 230379
	FILE No. B562

Date: 07/17/2025 - 3:04pm User: bwallace Project Manager: TWG Drawing Path: J:\2025\0300\230379 (Dwg)\P\0300\230379 (C-104.1) (WALSH) XREF File(s): VLD-BASE-230379/CSF-BASE-230379/PPR-SRCE-230379/CF-BASE-230379/ALD-BASE-230379/MATCH-BASE-230379/ALD-BASE-230379/RSF-BASE-230379/CSO-BASE-230379/LDP-BASE-230379/LLP-BASE-230379

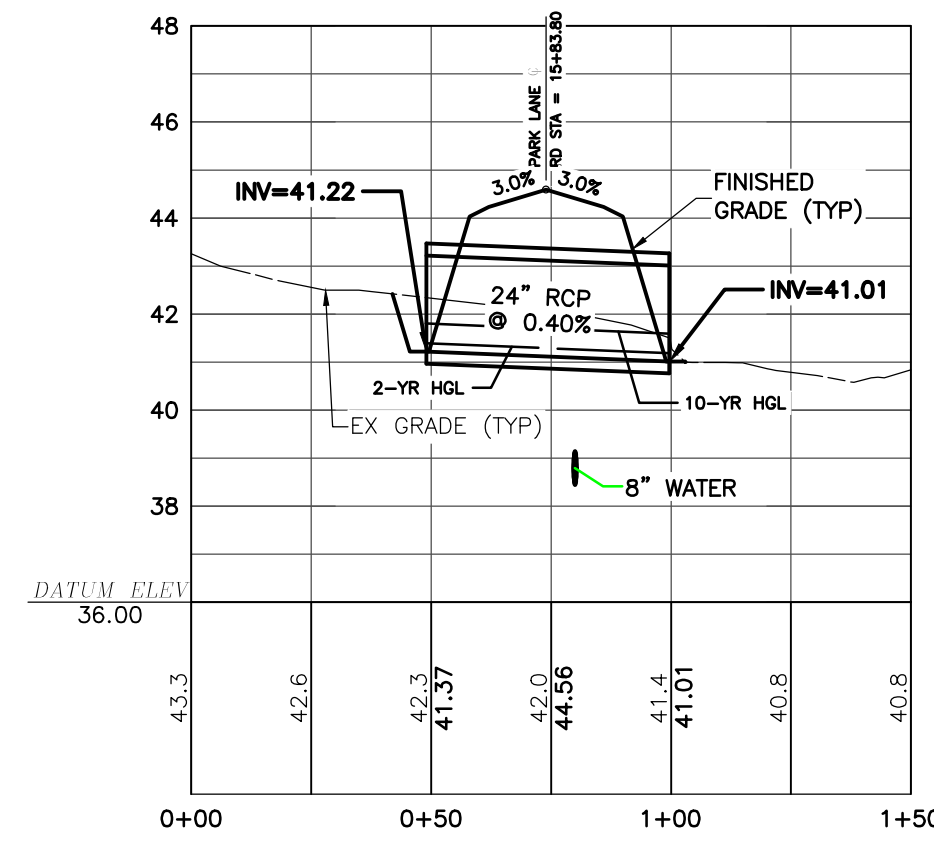




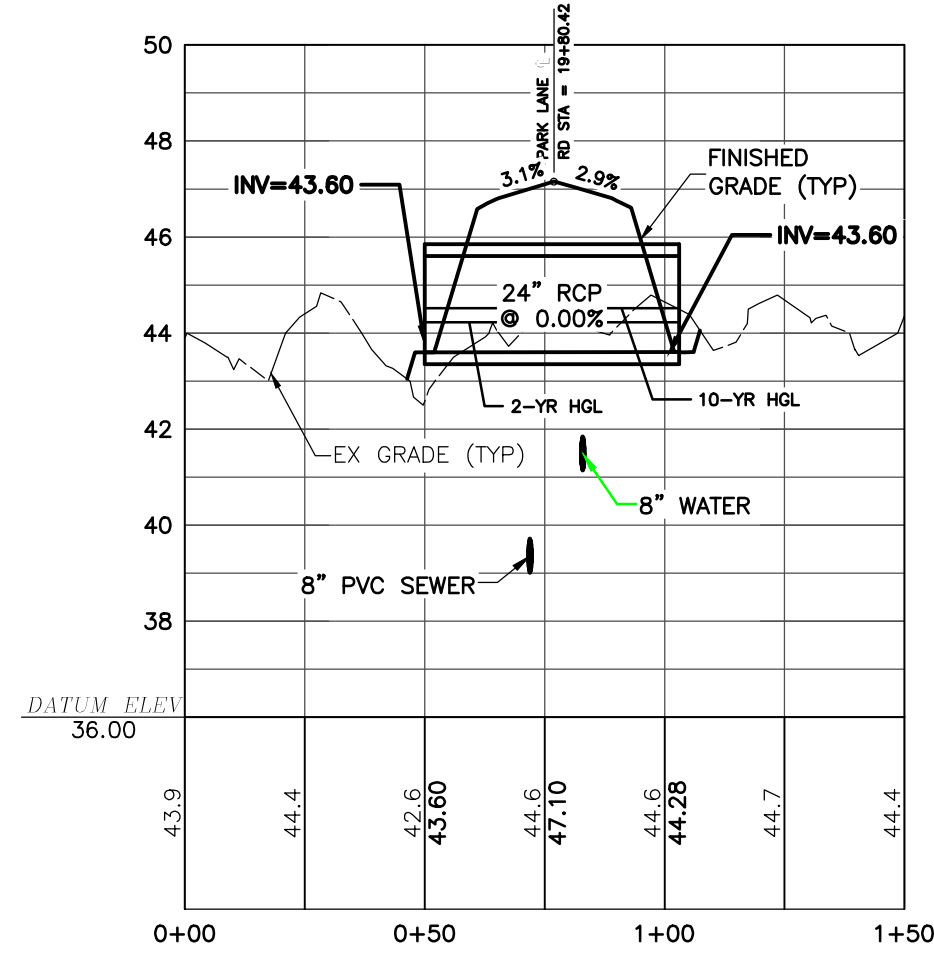
**CULVERT A**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



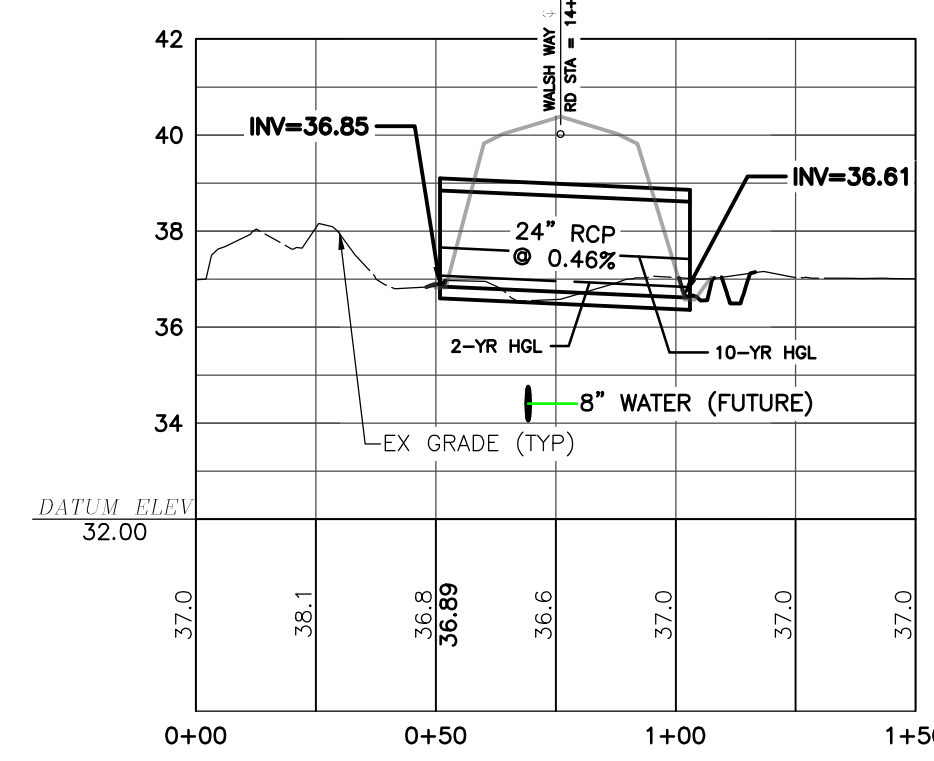
**CULVERT B**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



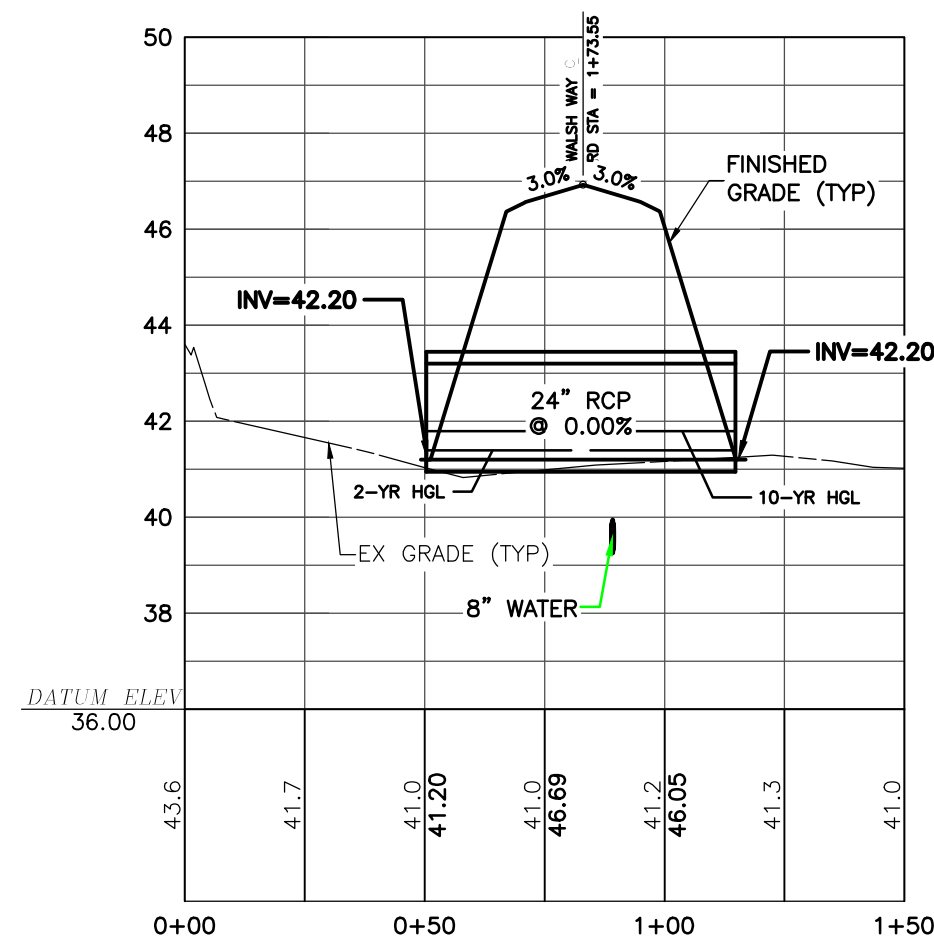
**CULVERT C**  
SCALE: 1" = 40' (HORIZ.)  
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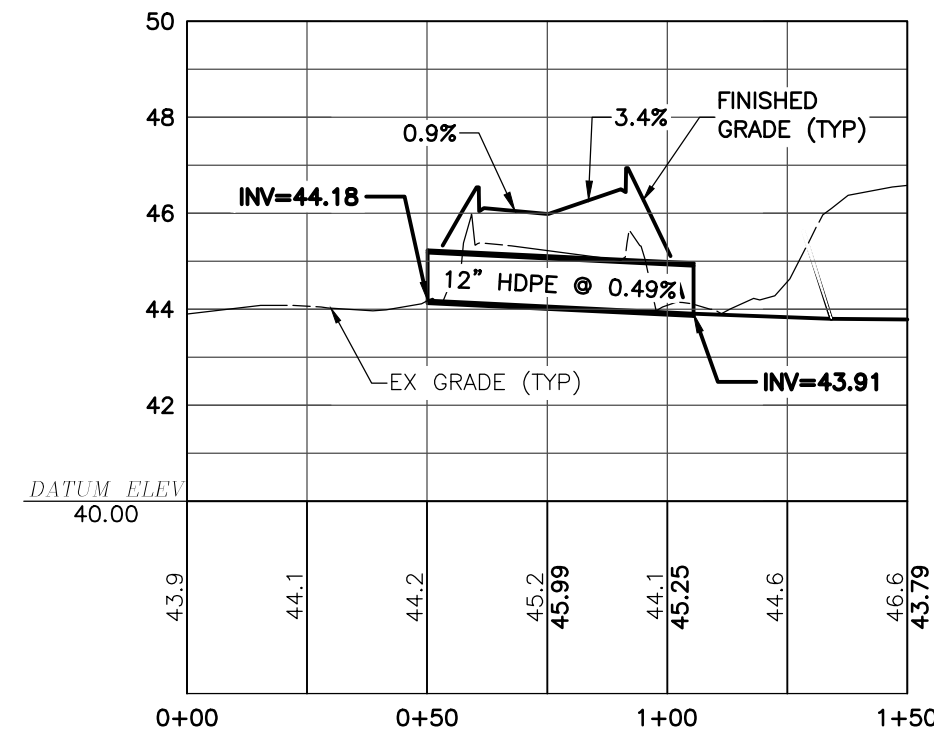
**CULVERT D**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



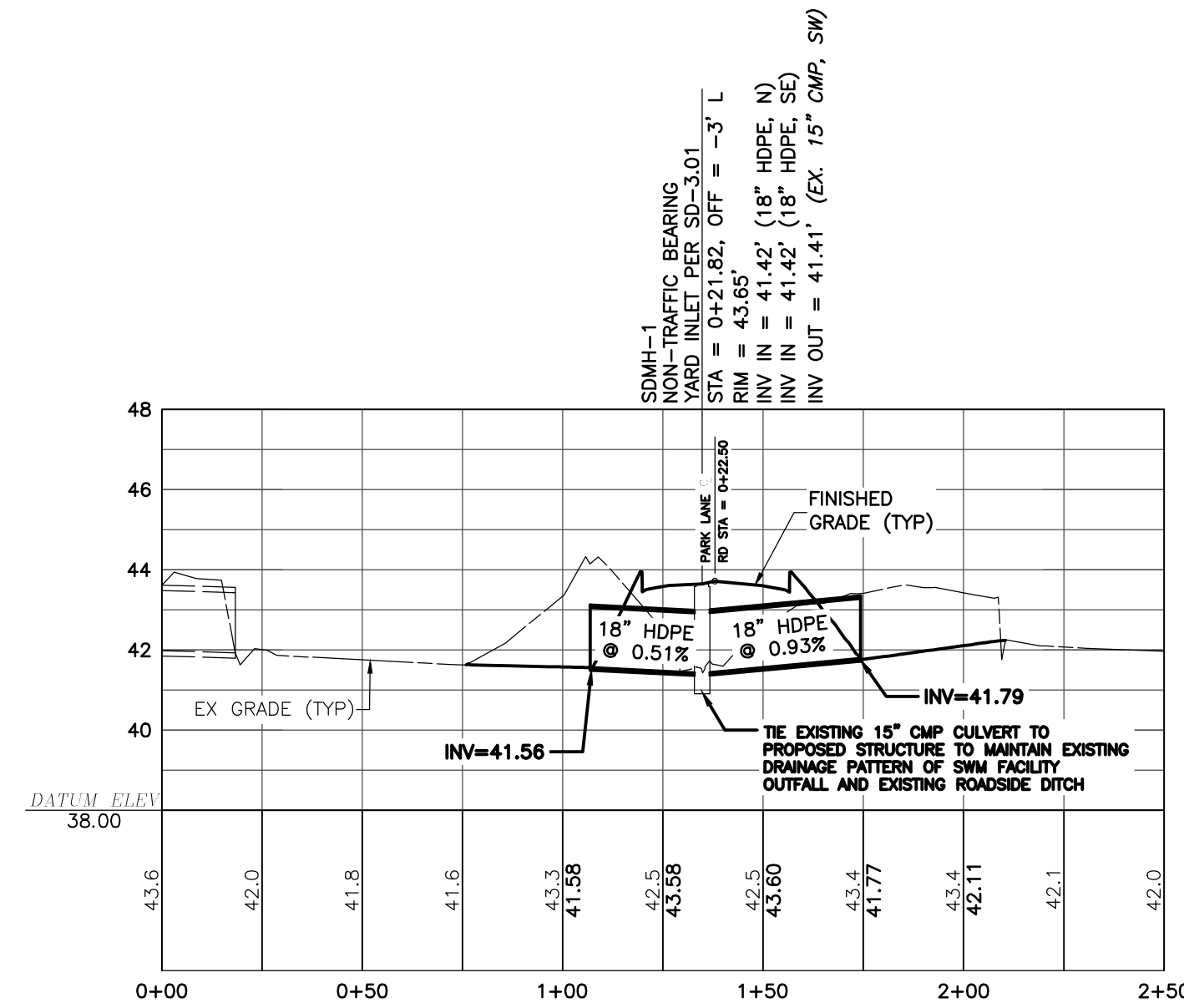
**CULVERT E**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



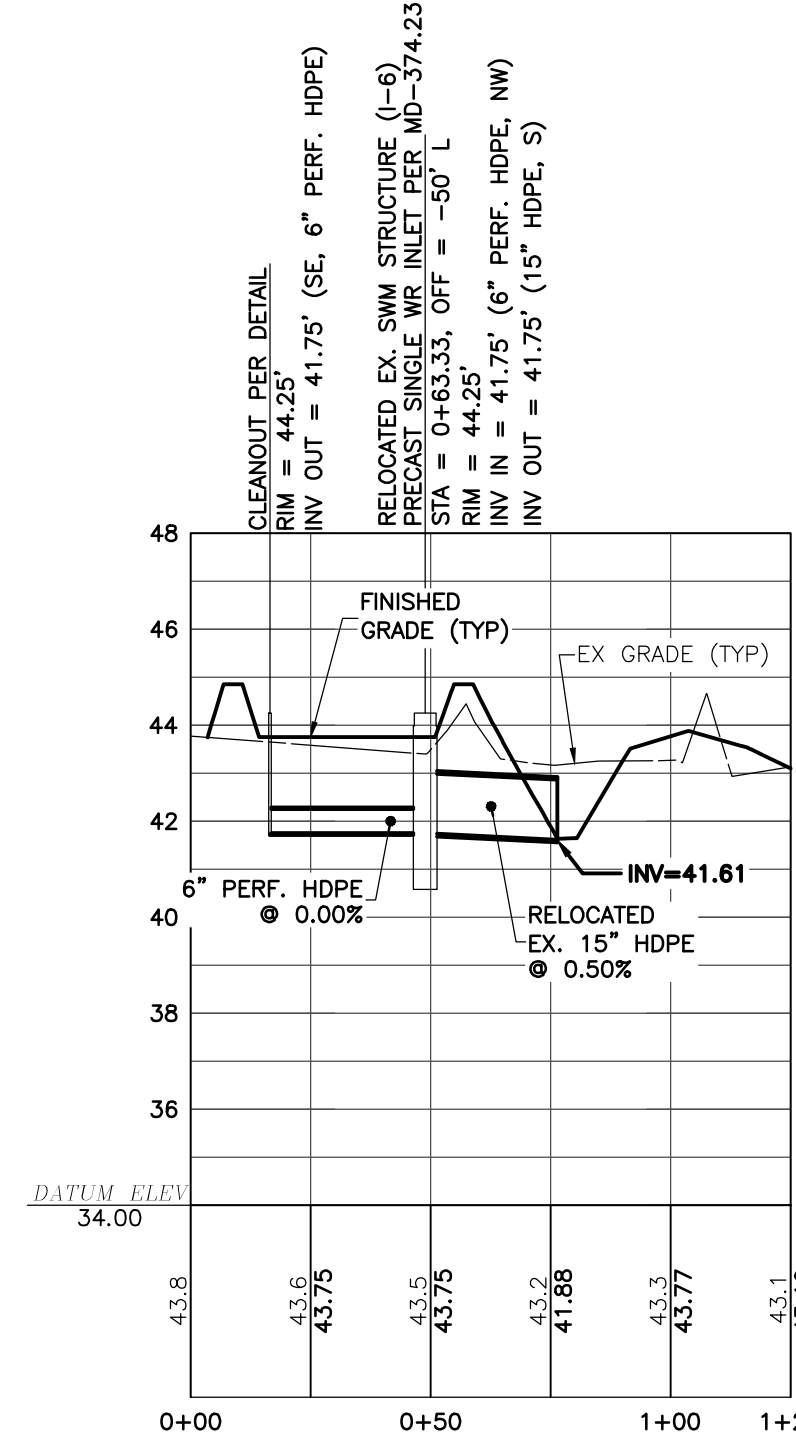
**CULVERT F**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



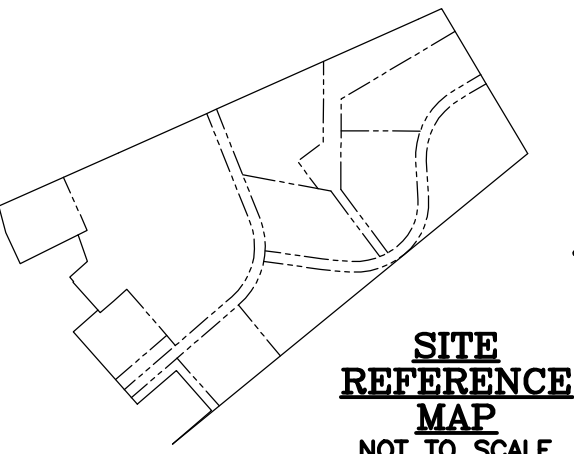
**EX ENTRANCE CULVERT REPLACEMENT**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



**DOUBLE HILLS ROAD ENTRANCE CULVERT**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



**SWM OUTFALL TO EX DITCH**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)



**SITE REFERENCE MAP**  
NOT TO SCALE

**REVISIONS TO APPROVED PLANS**

No.	DATE	DESCRIPTION	BY

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SEAL  
DATE: 7.18.25

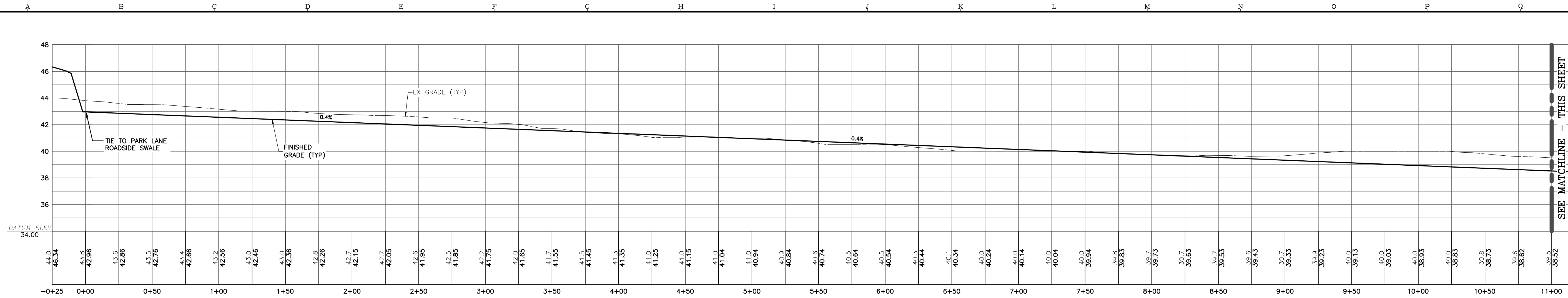
**STORM DRAIN PROFILES**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

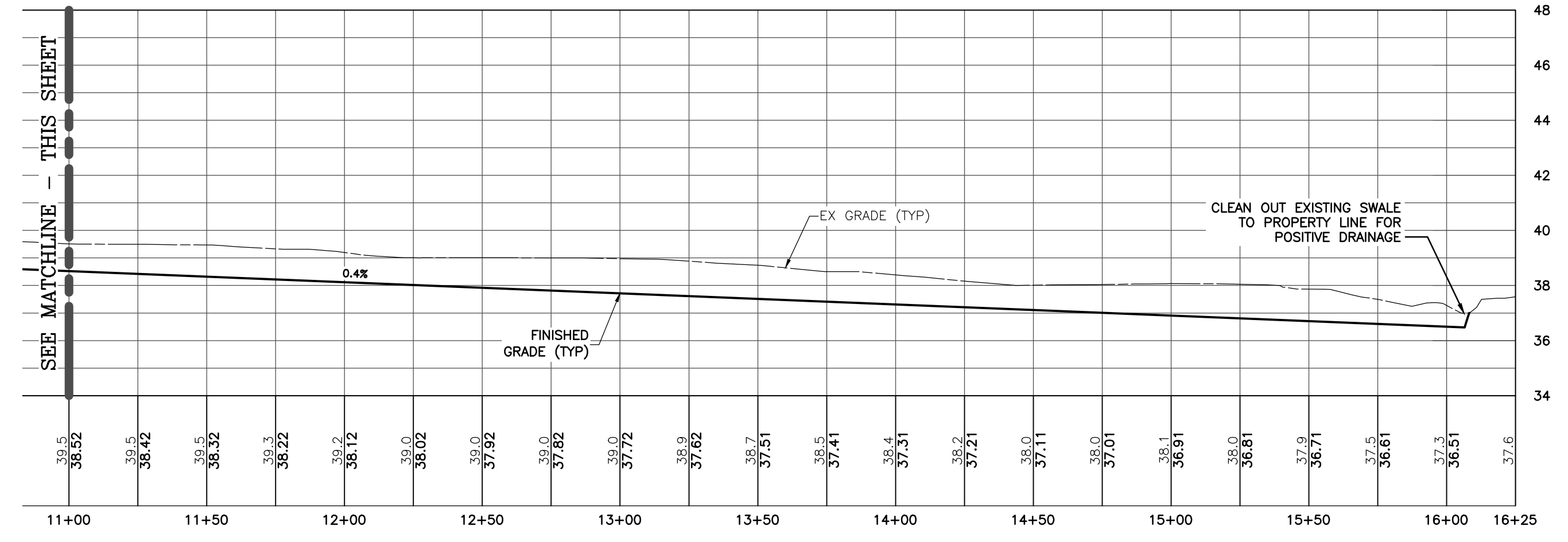
IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND  
TAX MAP 10B, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

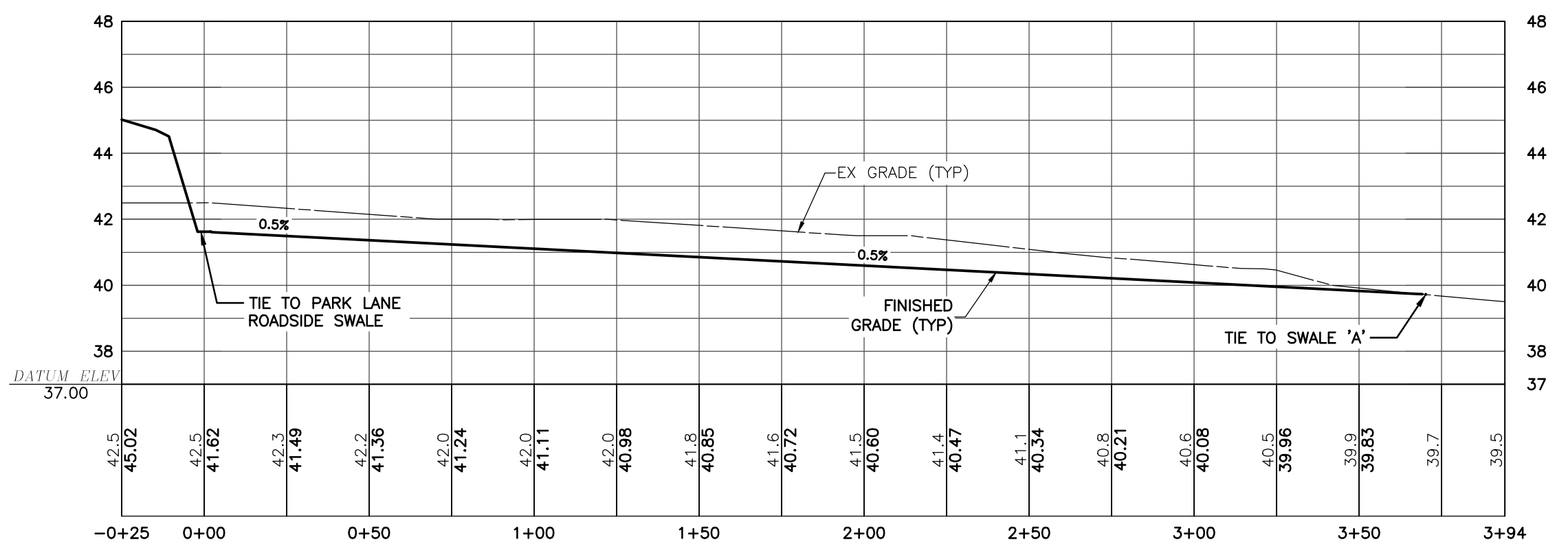
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	FILE No. B562



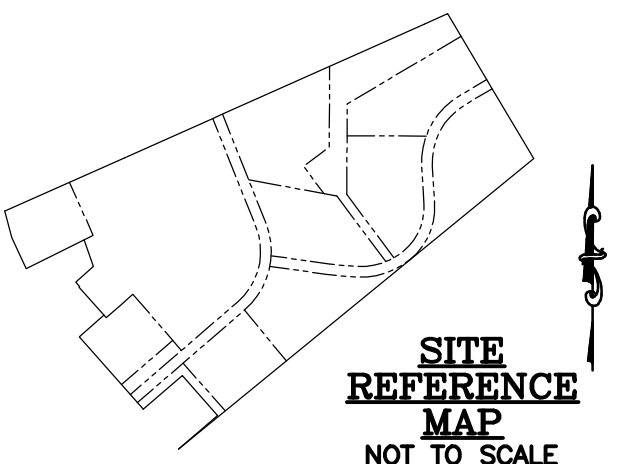
**SWALE 'A' CENTERLINE PROFILE**  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)



**SWALE 'A' CENTERLINE PROFILE**  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)



**SWALE 'B' CENTERLINE PROFILE**  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)



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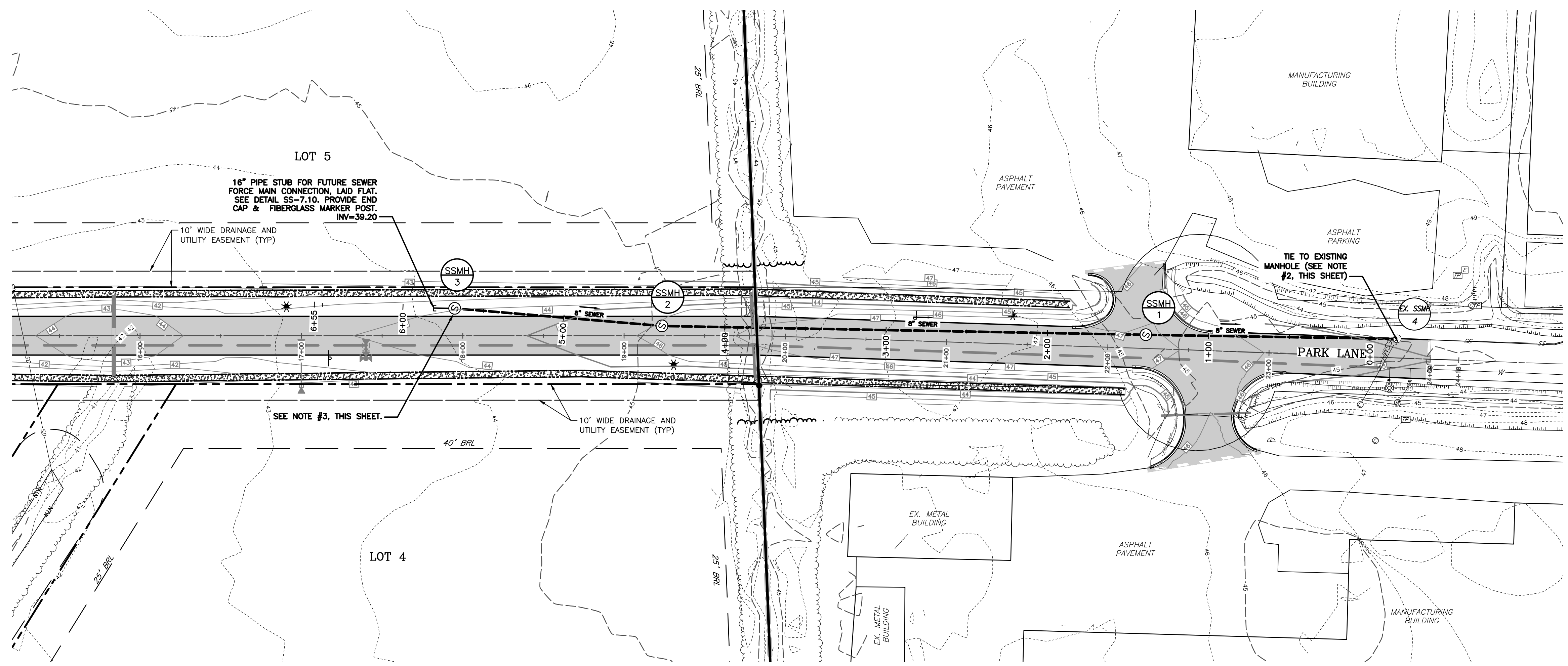
**GRASS SWALE PROFILES**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

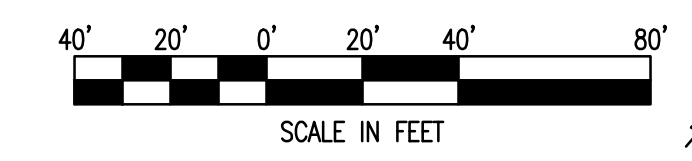
IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
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SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

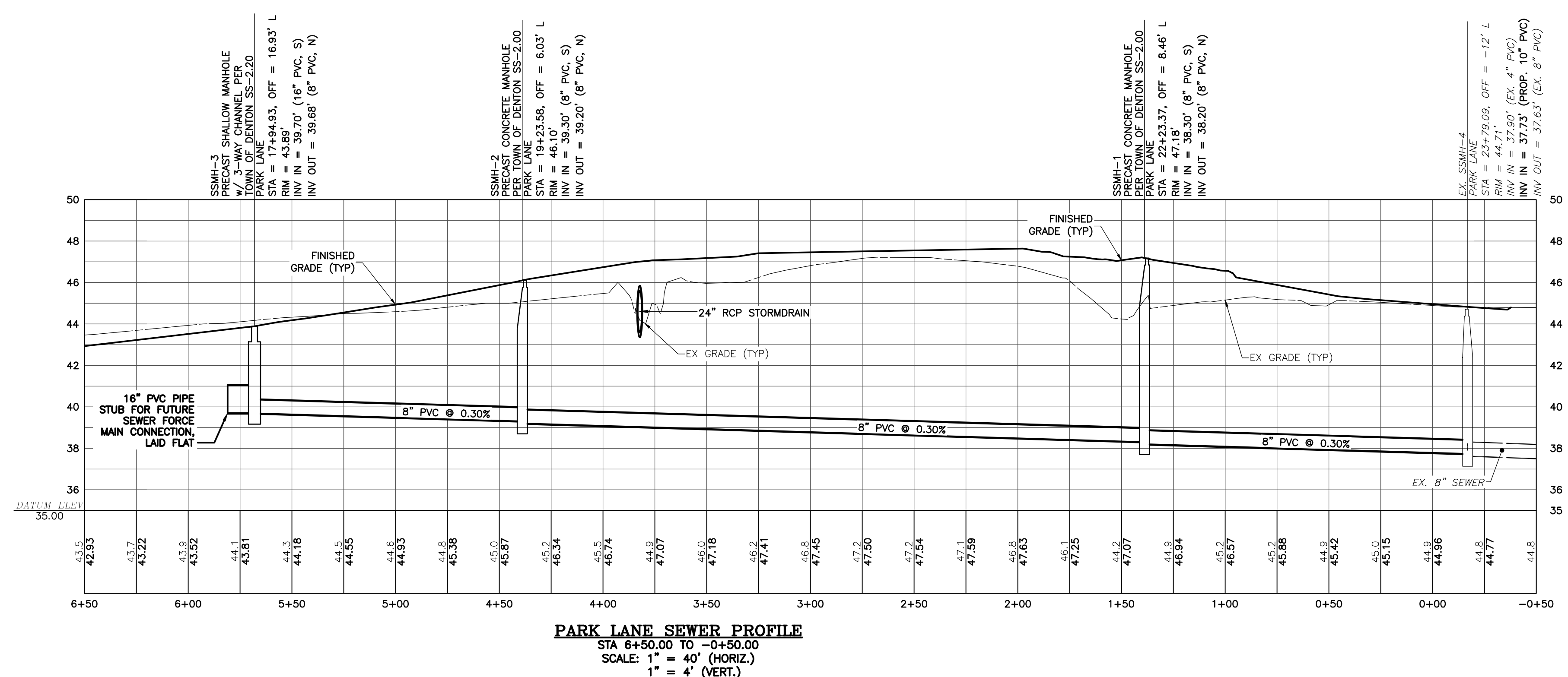
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SCALE: <b>AS NOTED</b>	JOB No. 230379
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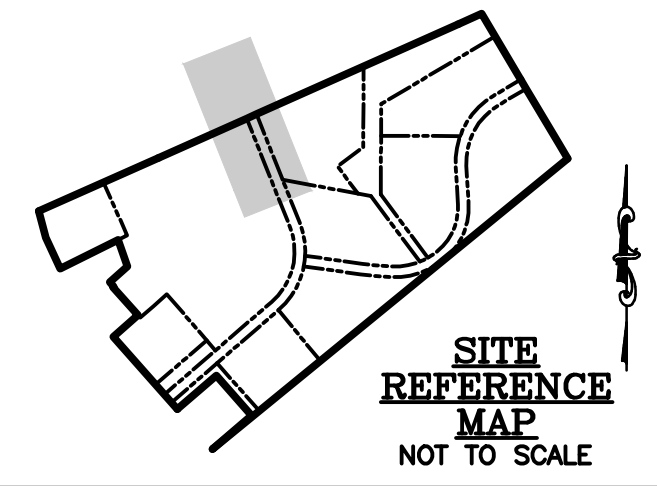
**PARK LANE SEWER PLAN VIEW**  
 STA 6+50.00 TO -0+50.00  
 SCALE: 1" = 40'



- NOTES:**
- STRUCTURE OFFSETS SHOWN ARE MEASURED TO THE GEOMETRIC CENTER OF STRUCTURE.
  - EX SSMH-4: CONTRACTOR TO CORE DRILL PROPOSED SEWER CONNECTION THROUGH MANHOLE AND BENCH, AT EXISTING CHANNEL ELEVATION.
  - SSMH-3: CONFIGURE BASE/CHANNEL WITH 3-WAY 8" CONNECTION PER DETAIL SS-2.40.



**PARK LANE SEWER PROFILE**  
 STA 6+50.00 TO -0+50.00  
 SCALE: 1" = 4' (HORIZ.), 1" = 4' (VERT.)



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**PARK LANE SEWER PLAN & PROFILE**

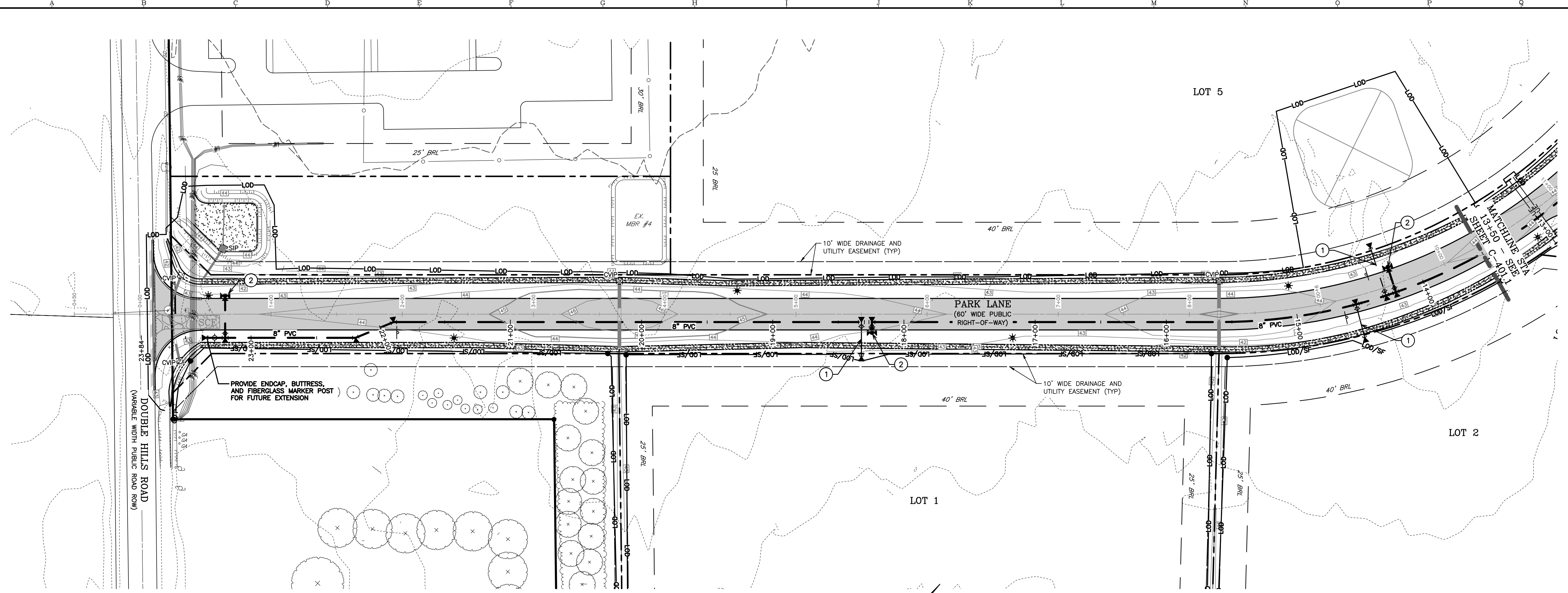
**DOUBLE HILLS ROAD INDUSTRIAL PARK**

IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 10B, PARCEL 64

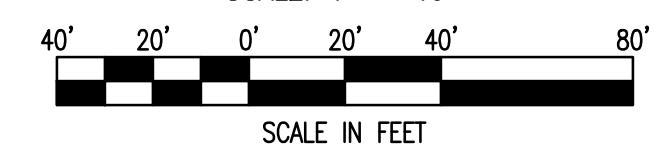
ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No. <b>C-301</b>	DATE: 07/17/25
SCALE: AS NOTED	JOB No. 230379
	FILE No. B562

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 Drawing Path: J:\2025\0300\230379\Civil\3D-230379 (Dwg)\Pia\CPB-PLTS-SSWR-230379.dwg | C-301 (PARK)  
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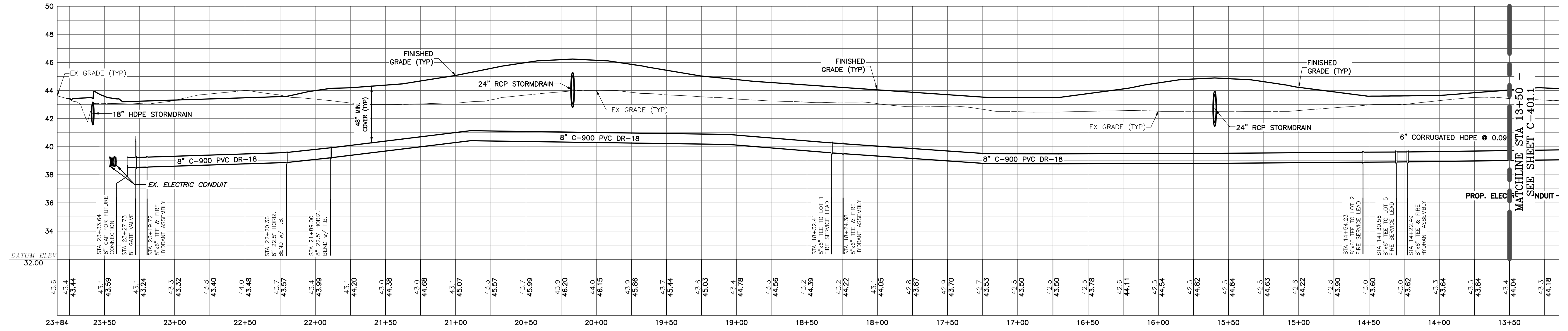


**PARK LANE WATER PLAN VIEW**  
 STA 23+84.00 (BEGIN) TO STA 13+50.00  
 SCALE: 1" = 40'

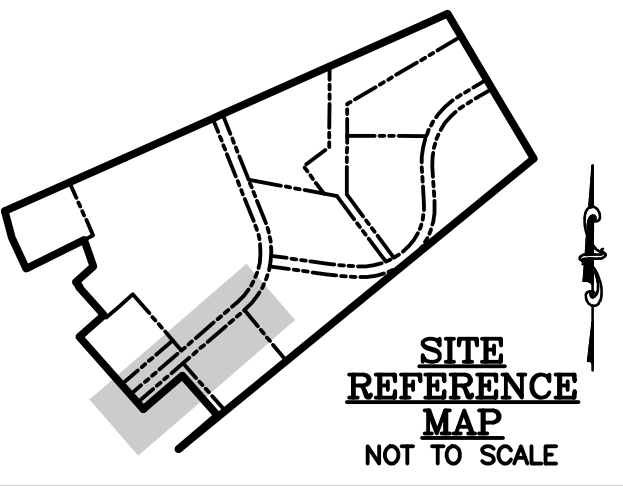


**WATER KEY NOTES**

- ① 6" PVC WATER/FIRE SERVICE LEAD w/ DIMJ TEE, 6" GATE VALVE, ENDCAP, BUTTRISS, AND FIBERGLASS MARKER POST
- ② FIRE HYDRANT ASSEMBLY PER DETAIL (TYP)



**PARK LANE WATER PROFILE**  
 STA 23+84.00 (BEGIN) TO STA 13+50.00  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)



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SEAL  
  
 DATE: 7.18.25

**PARK LANE WATER PLAN & PROFILE**  
 DOUBLE HILLS ROAD INDUSTRIAL PARK  
 IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

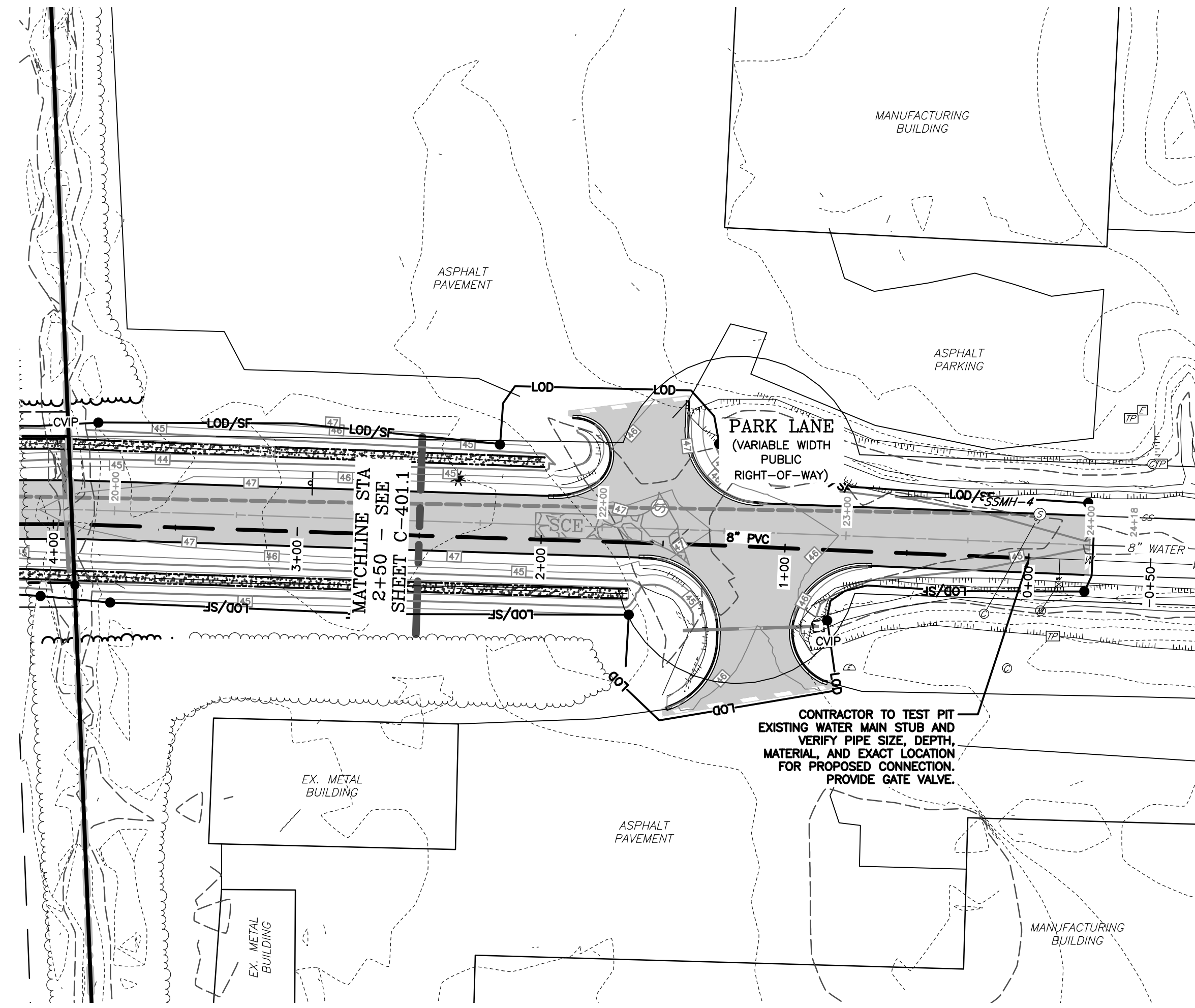
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CONSTRUCTION/BIDDING	09/24/24	TWG
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AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	C-401	DATE:	07/17/25
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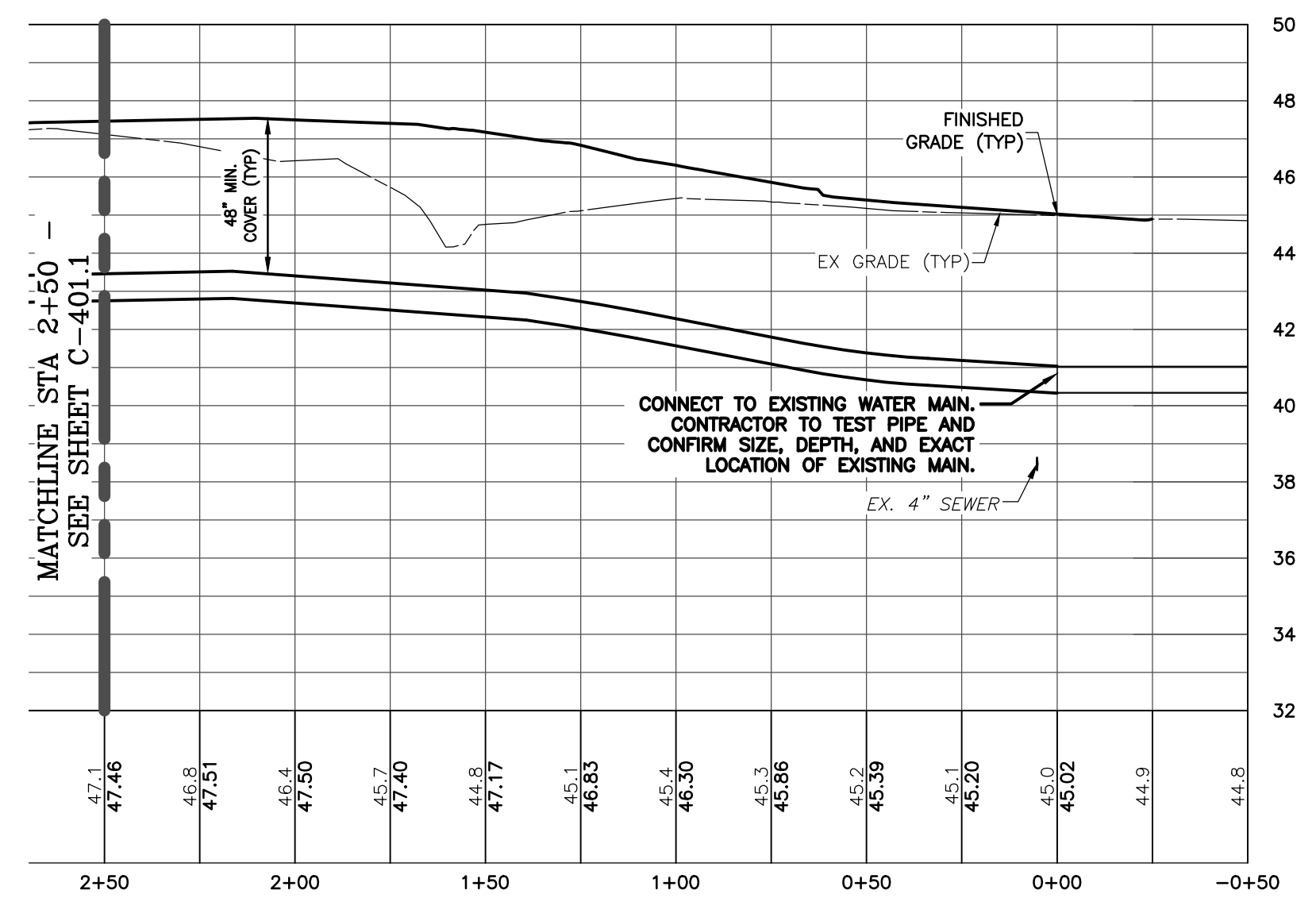
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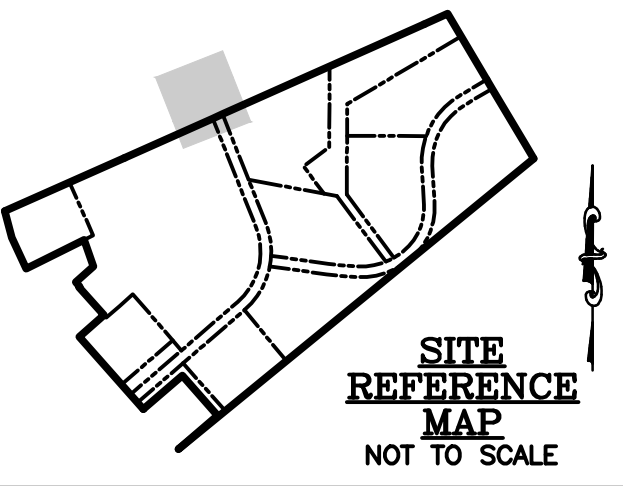
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 XREF File(s): VLD-BASE-230379/CSF-BASE-230379/RSF-BASE-230379/LIBRARY/CEC-BASE-230379/LLP-BASE-230379/CUP-SRCE-230379



**PARK LANE WATER PLAN VIEW**  
 STA 2+50.00 TO STA -0+50.00 (END)  
 SCALE: 1" = 40'  
  
 SCALE IN FEET



**PARK LANE WATER PROFILE**  
 STA 2+50.00 TO STA -0+50.00 (END)  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)



REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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 354 Pennsylvania Ave., Centreville, MD 21617 (410) 758-2095

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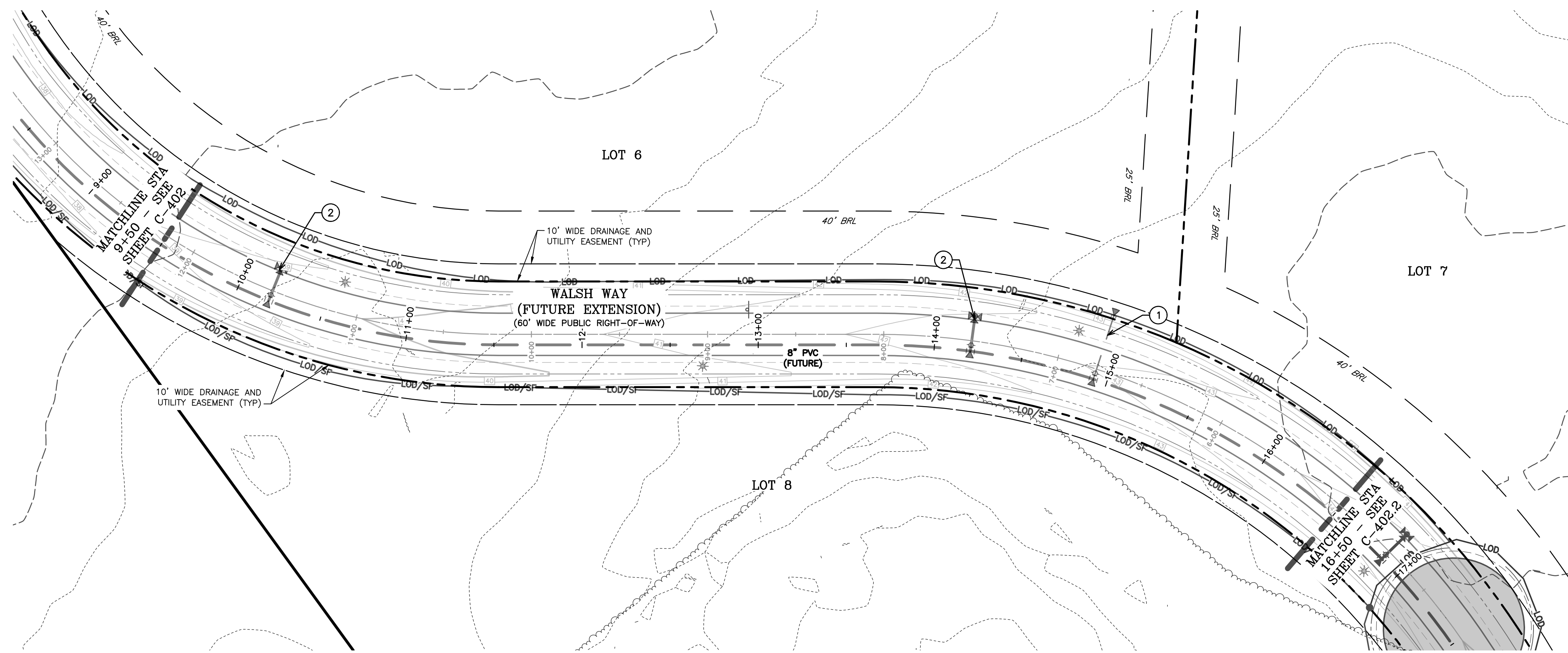
SEAL  
  
 DATE: 7.18.25

**PARK LANE WATER PLAN & PROFILE**  
**DOUBLE HILLS ROAD INDUSTRIAL PARK**  
 IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	07/17/25
C-401.2	
SCALE:	AS NOTED
JOB No.	230379
FILE No.	B562

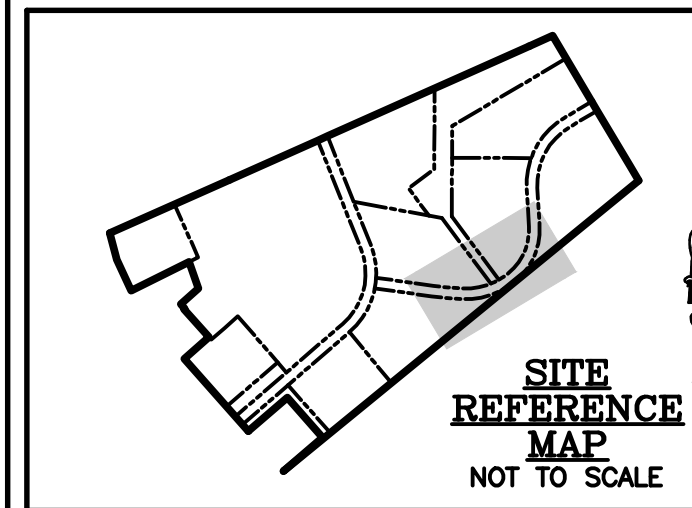




**WALSH WAY WATER PLAN VIEW**  
 STA 9+50.00 TO STA 16+50.00  
 SCALE: 1" = 40'

**WATER KEY NOTES**

- ① 6" PVC WATER/FIRE SERVICE LEAD w/ DIMJ TEE, 6" GATE VALVE, ENDCAP, BUTTRESS, AND FIBERGLASS MARKER POST
- ② FIRE HYDRANT ASSEMBLY PER DETAIL (TYP)



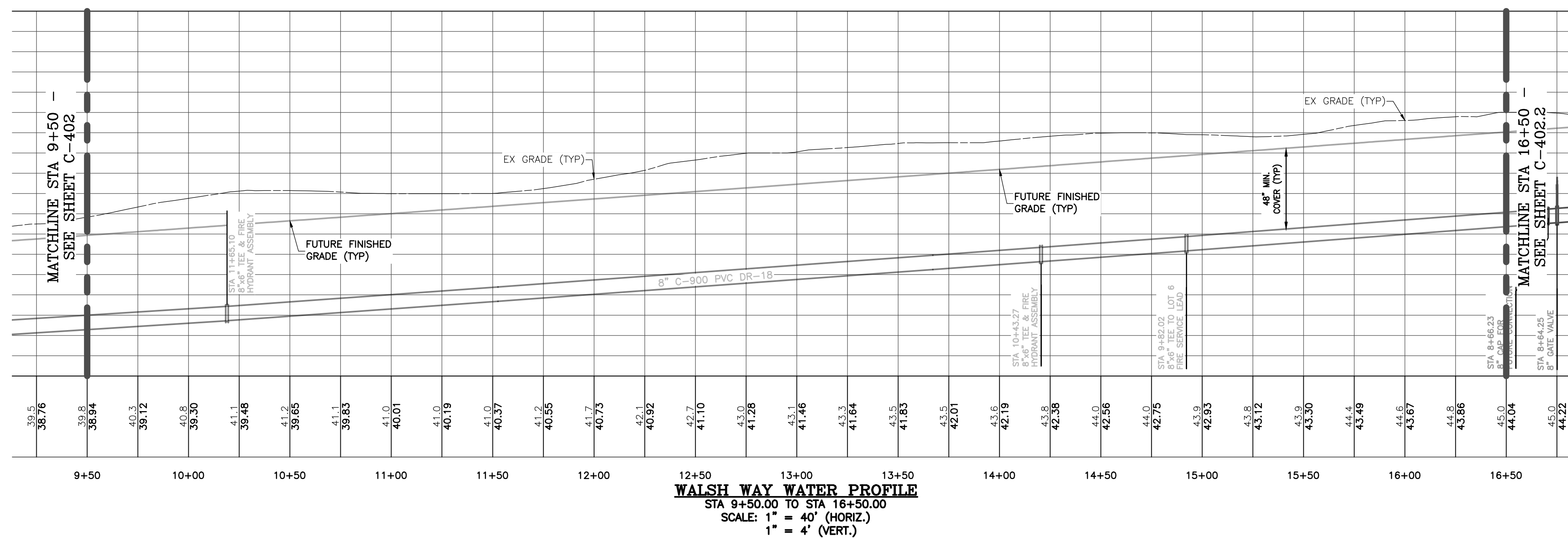
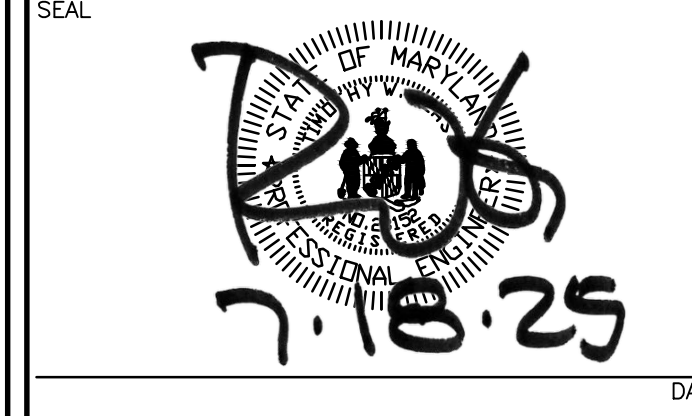
REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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**WALSH WAY WATER PROFILE**  
 STA 9+50.00 TO STA 16+50.00  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)

**WALSH WAY WATER PLAN & PROFILE**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

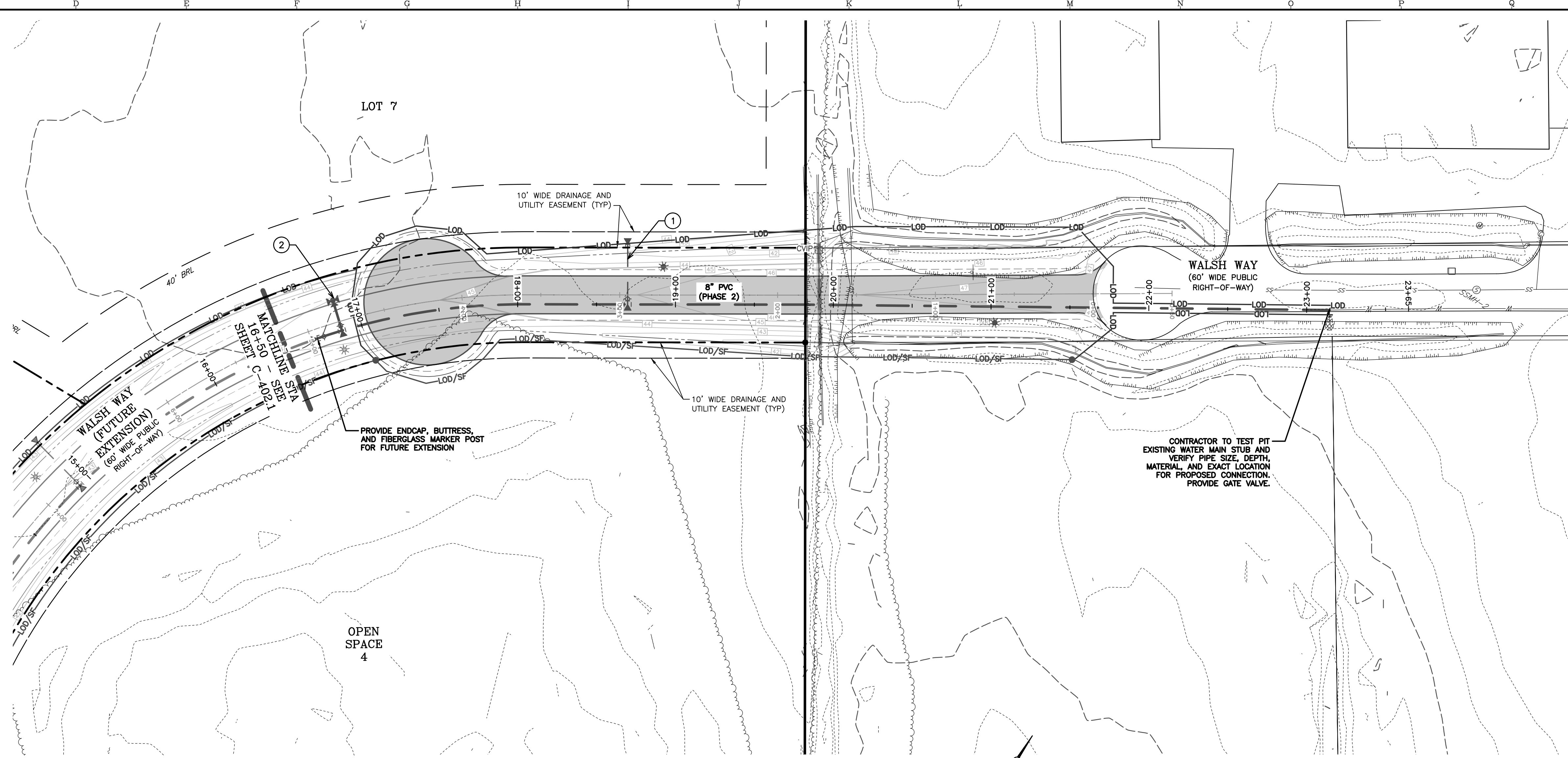
IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
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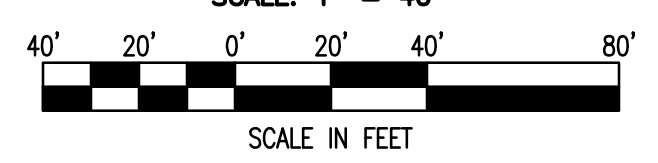
SHEET No. <b>C-402.1</b>	DATE: 07/17/25
SCALE: AS NOTED	JOB No. 230379
	FILE No. B562

Date: 07/17/2025 - 3:08pm User: Wallace Project Manager: TWG  
 Drawing Path: J:\2025\0300\230379 (Dwg)\Pia\CPR-PLTS-DOMW-230379.dwg | C-402.1 (WALSH)  
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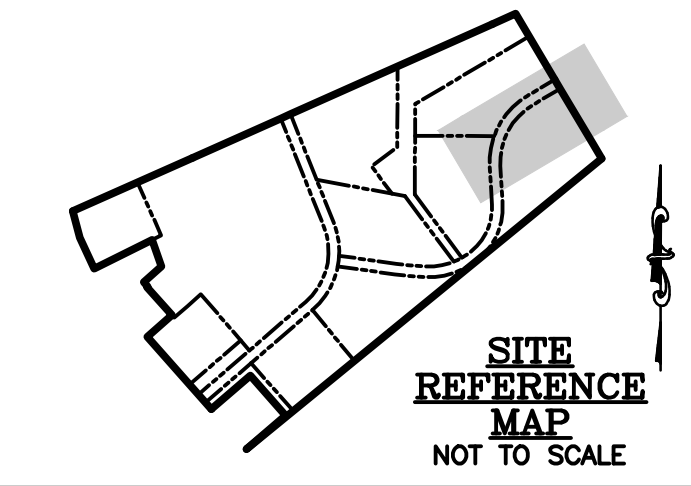
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**WALSH WAY WATER PLAN VIEW**  
 STA 16+50.00 TO STA 23+50.00 (END)  
 SCALE: 1" = 40'



- WATER KEY NOTES**
- ① 6" PVC WATER/FIRE SERVICE LEAD w/ DIMJ TEE, 6" GATE VALVE, ENDCAP, BUTTRISS, AND FIBERGLASS MARKER POST
  - ② FIRE HYDRANT ASSEMBLY PER DETAIL (TYP)



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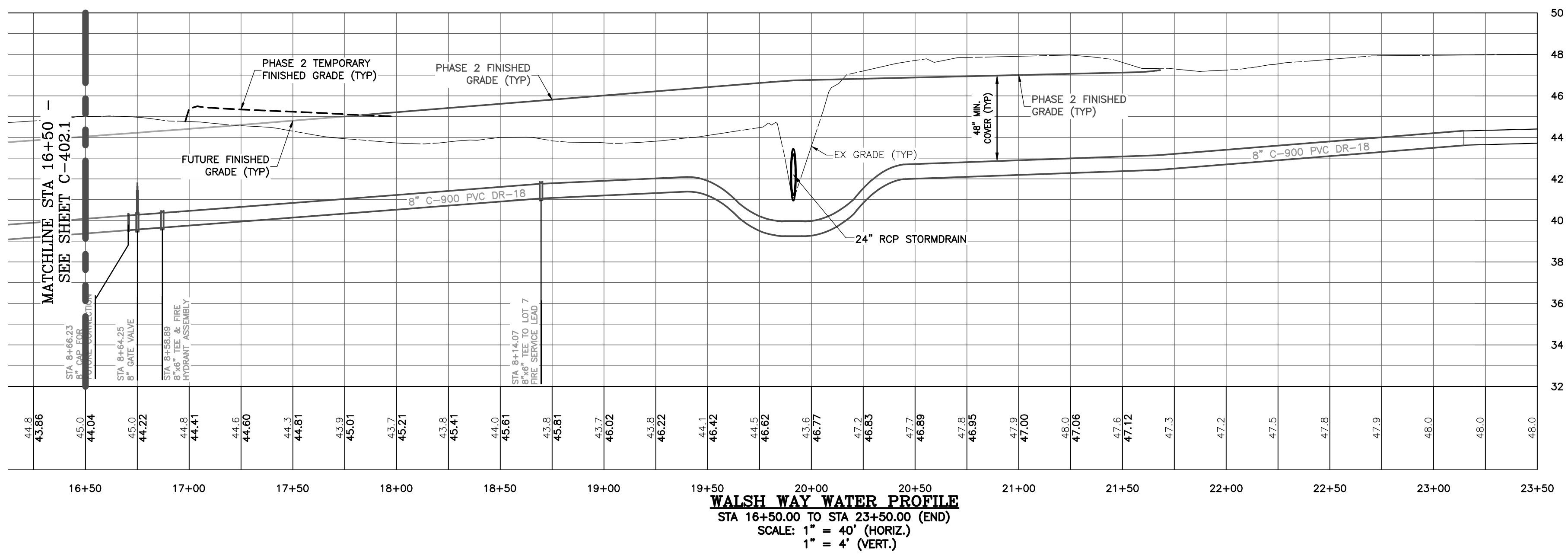
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 STA 16+50.00 TO STA 23+50.00 (END)  
 SCALE: 1" = 40' (HORIZ.)  
 1" = 4' (VERT.)

**WALSH WAY WATER PLAN & PROFILE**

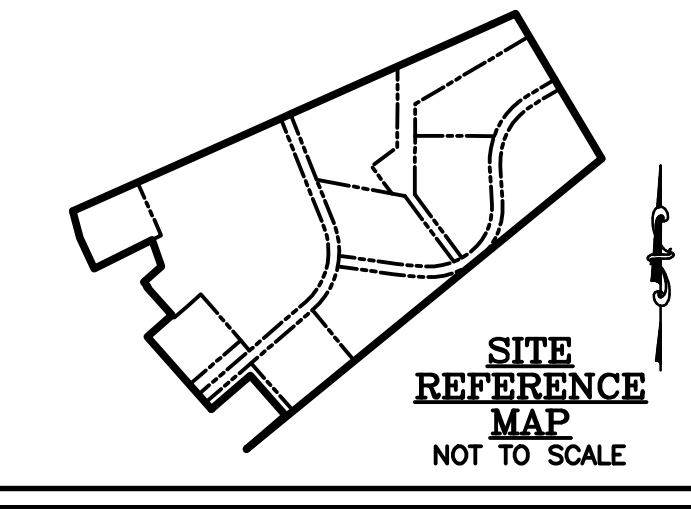
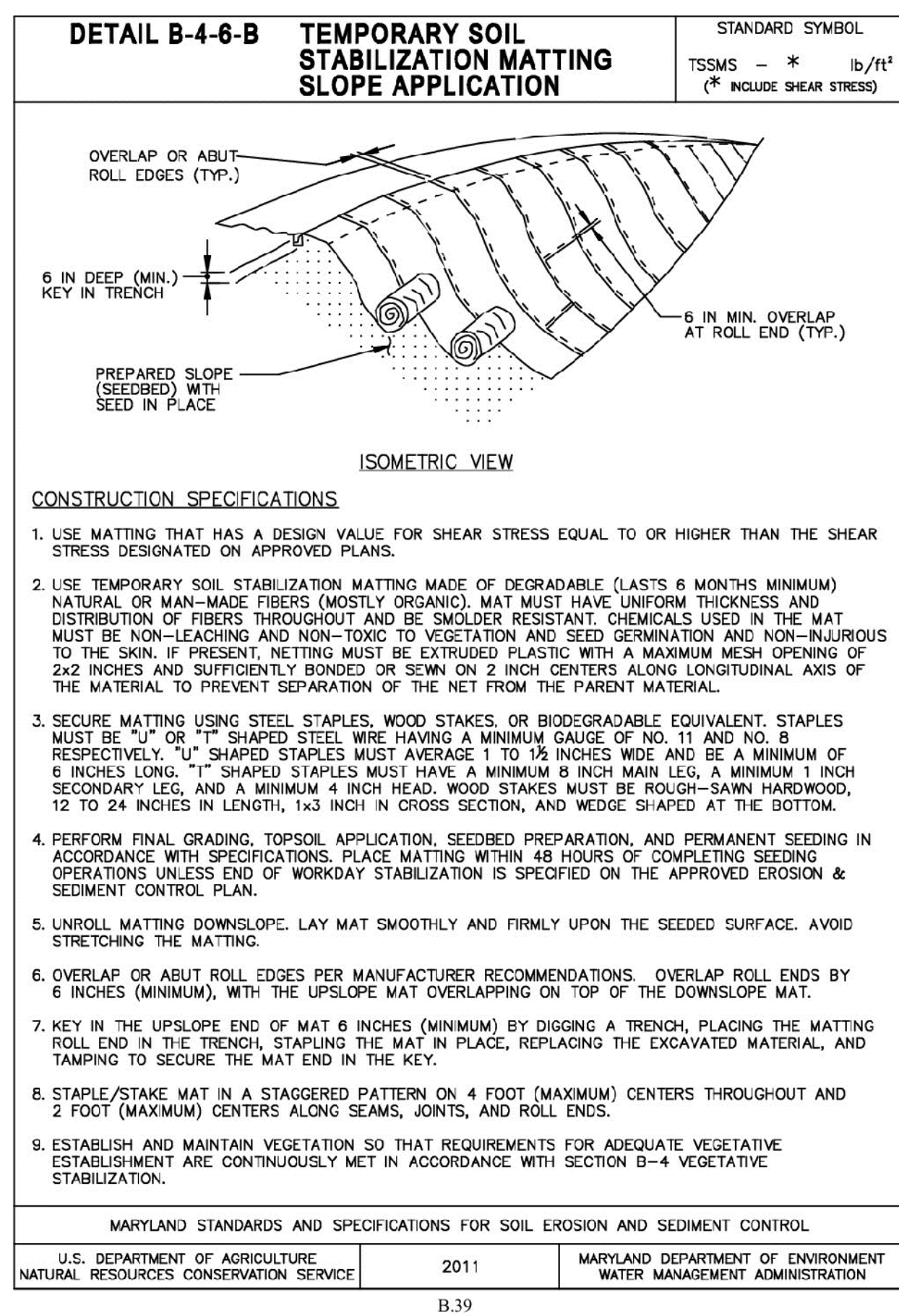
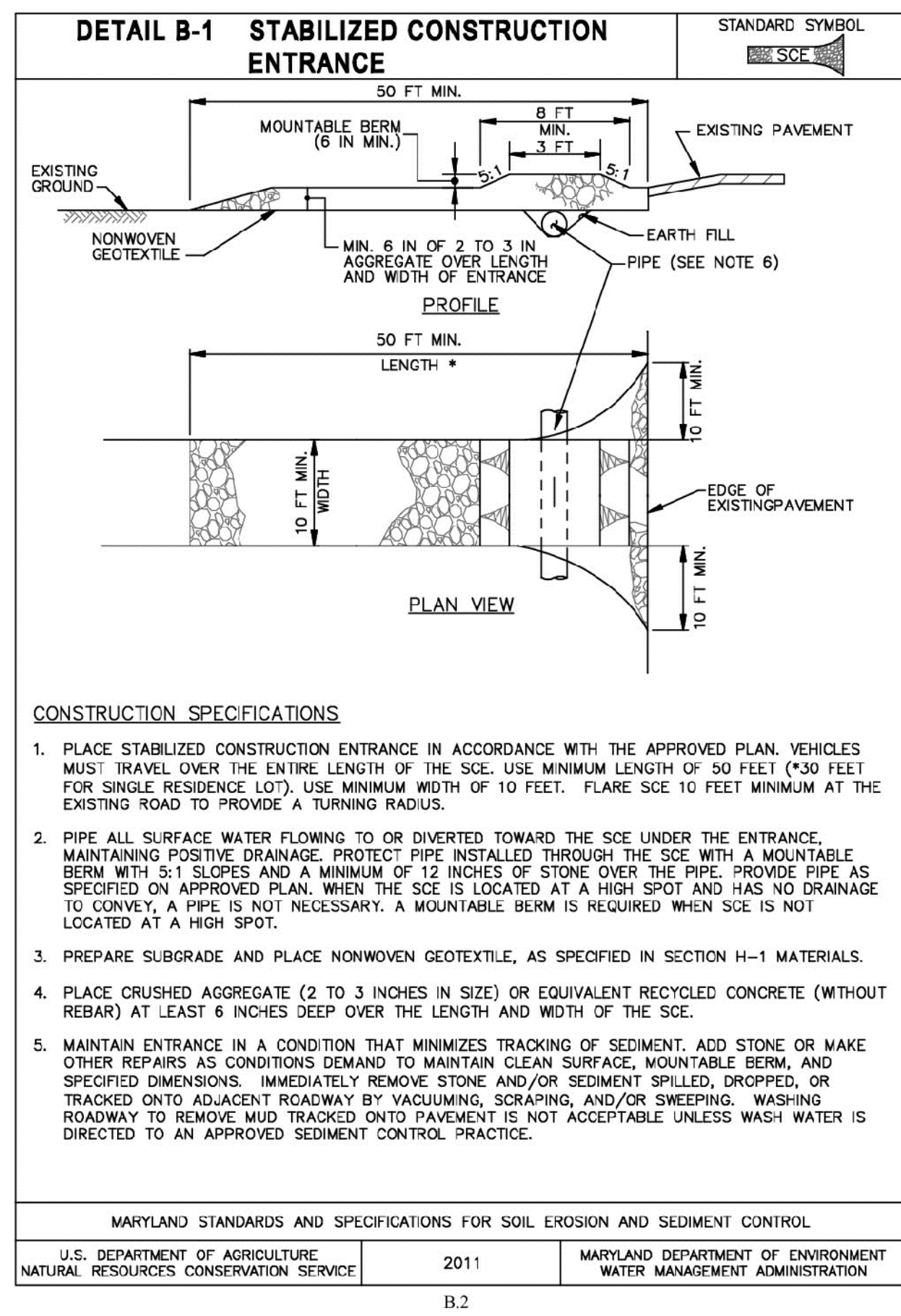
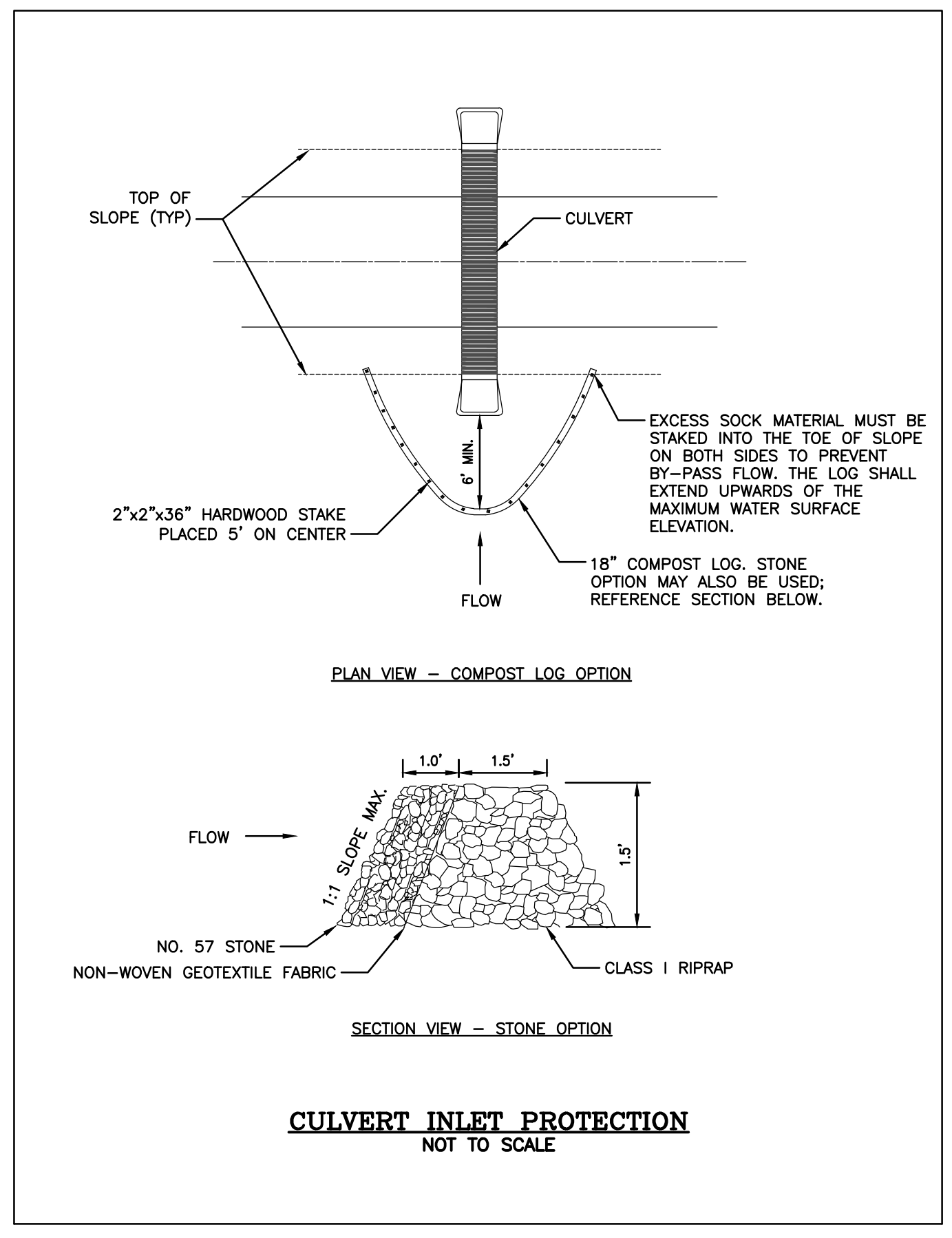
**DOUBLE HILLS ROAD INDUSTRIAL PARK**

IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	07/17/25
<b>C-402.2</b>	
SCALE:	JOB No. 230379
<b>AS NOTED</b>	FILE No. B562

Date: 07/17/2025 3:10pm User: bwallace Project Manager: TWG  
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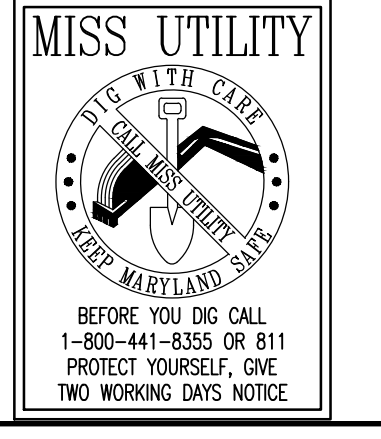


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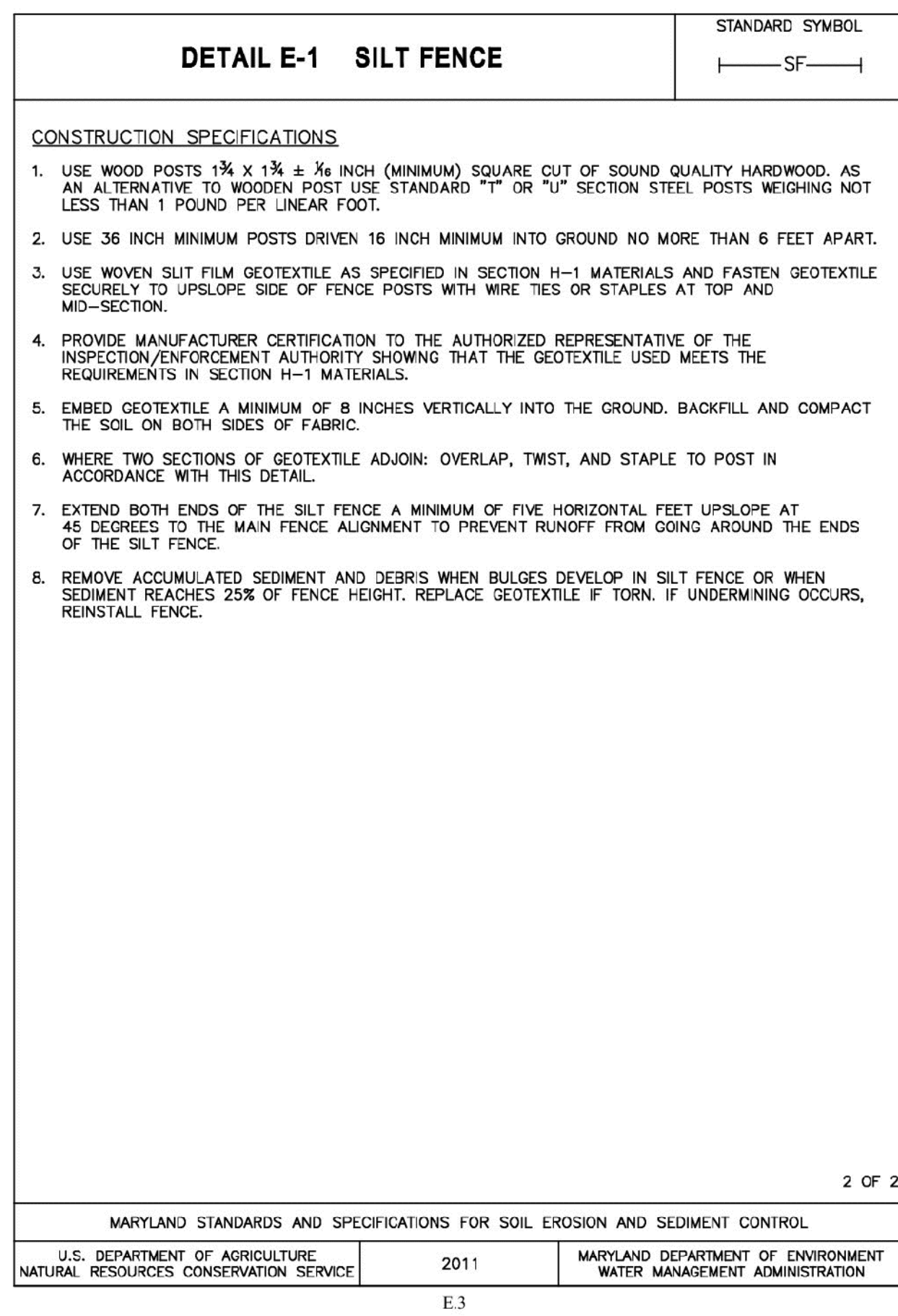
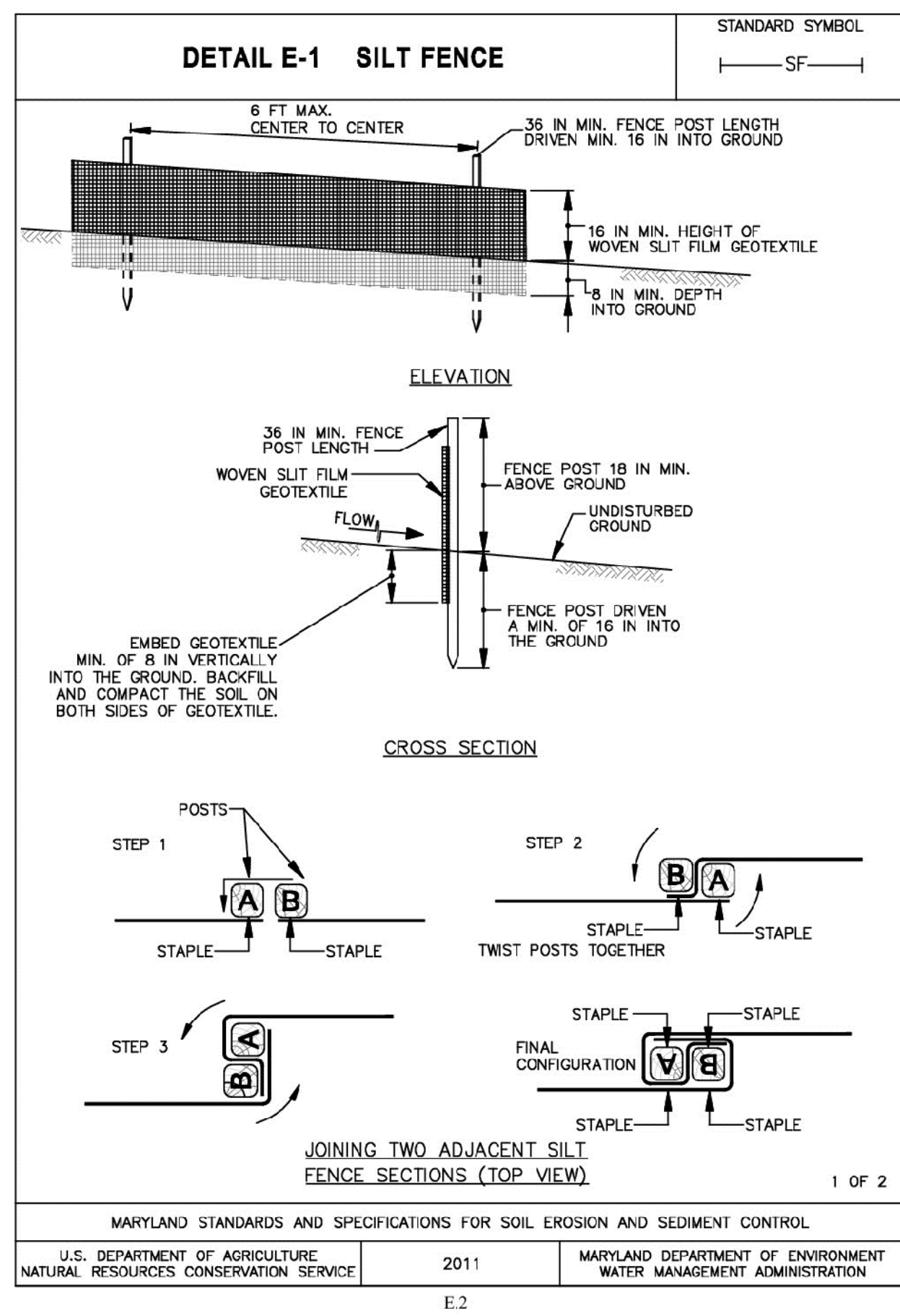
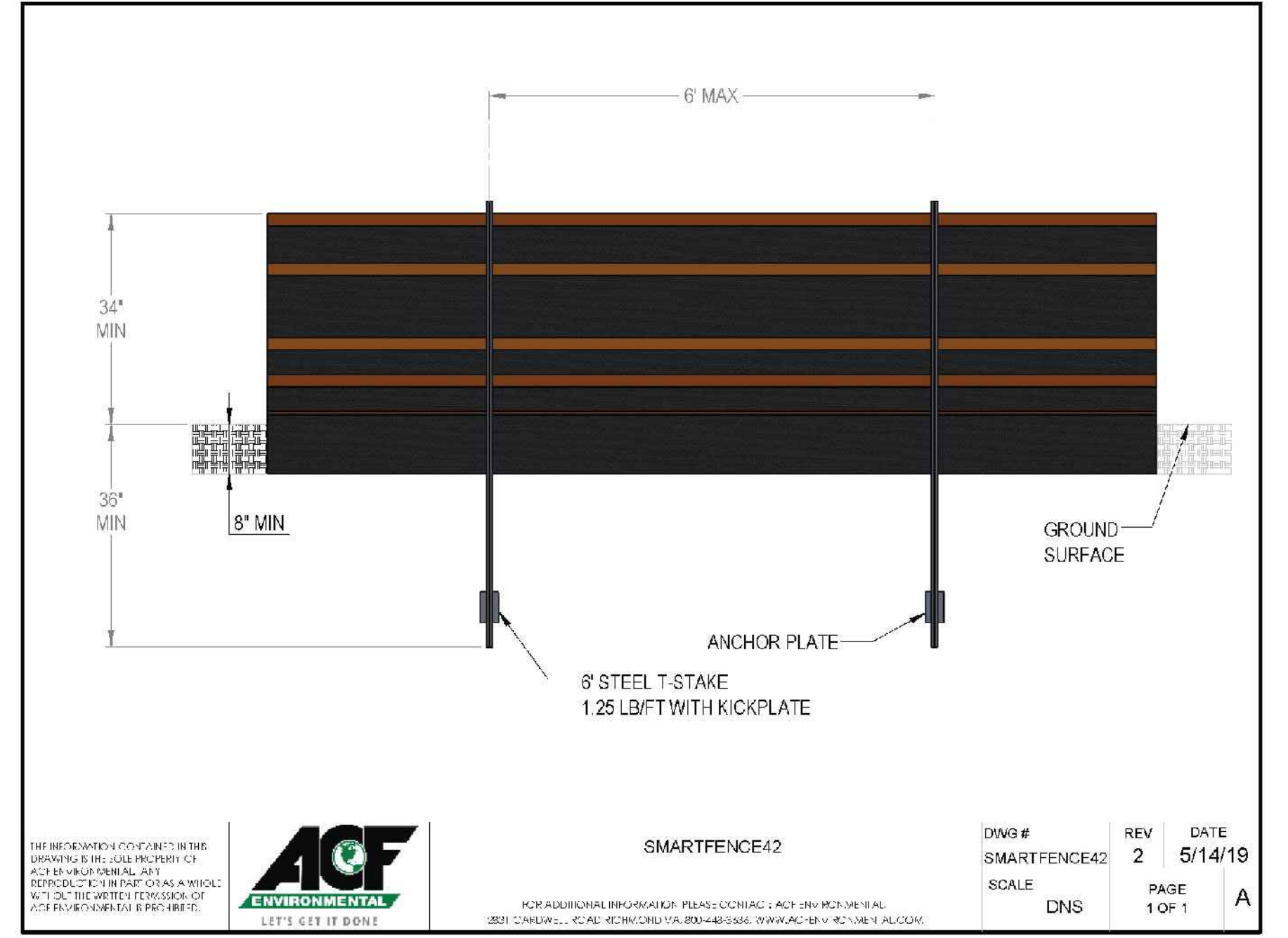
**SEDIMENT & EROSION CONTROL NOTES & DETAILS**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND  
TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
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SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No. C-501	07/17/25
SCALE: AS NOTED	JOB No. 230379
	FILE No. B562



Date: 07/17/2025 - 3:10pm User: bwallace Project Manager: TWG  
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 XREF File(s): CBS-BASE-2436-230379/HATCH-BASE-230379/CSF-BASE-230379/ALD-BASE-230379/VLD-BASE-230379/RSF-BASE-230379/CLIP-SRCE-230379

**SEQUENCE OF CONSTRUCTION**

- CONTACT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) AT (410)901-4020, CAROLINE SOIL CONSERVATION DISTRICT (410)479-1202, AND LANE ENGINEERING, LLC AT (410)822-8003, TWO WEEKS PRIOR TO START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES; SILT FENCE (SF) AND STABILIZED CONSTRUCTION ENTRANCE (SCE), PER THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- DEMOLISH AND REMOVE EXISTING CURBING, PAVEMENT, AND VEGETATION PER THE EXISTING CONDITIONS/DEMOLITION PLAN.
- INSTALL TRAP OUTFALL STRUCTURES AND PIPES, EXCAVATE TRAPS TO THE NOTED FLOOR ELEVATION ONLY. STABILIZE SIDE SLOPES WITH EROSION CONTROL MATTING. PROVIDE ROCK OUTLET PROTECTION AT PIPE OUTFALLS (ROP). ONCE NEW OUTFALL STRUCTURE AND PIPE IS INSTALLED, REMOVE EXISTING STRUCTURE AND PIPING PER THE EXISTING CONDITIONS/DEMOLITION PLAN.
- INSTALL GRAVITY SEWER MAINS AND LATERALS, INSTALL SEWER LATERALS TO PROPERTY LINE PER DETAIL.
- ROUGH GRADE ROADWAY AND DITCHES IN COORDINATION WITH INSTALLATION OF STORM DRAIN SYSTEM, PROVIDE POSITIVE DRAINAGE. INSTALL STANDARD INLET PROTECTION (SIP), CULVERT INLET PROTECTION (CVIP), AND EROSION CONTROL MATTING ON 4:1 OR STEEPER TIE-OUT SLOPES.
- INSTALL WATER MAINS, HYDRANTS AND SERVICES, STUB SERVICE LINE AT PROPERTY LINE.
- PERFORM WATER AND SEWER SYSTEM PRESSURE TESTING PER REQUIREMENTS, COORDINATE WITH TOWN OF DENTON DEPARTMENT OF PUBLIC WORKS.
- COORDINATE INSTALLATION OF DUCT CROSSINGS AT INTERSECTIONS.
- GRADE ROADWAY AREAS AND INSTALL, COMPACT, AND TEST BASE MATERIALS. INSTALL CURB AND GUTTER PER PLAN. ADJUST ALL MANHOLES, VALVE BOXES, TO PROPOSED GRADE & INSTALL BASE PAVEMENT.
- COORDINATE INSTALLATION OF ELECTRIC, COMMS, AND STREETLIGHT CIRCUITS. INSTALL STREETLIGHTS.
- ONCE THE DRAINAGE AREA TO SEDIMENT TRAP IS STABILIZED, EXCAVATE TO BOTTOM ELEVATION, REMOVING ACCUMULATED SEDIMENT, CONVERT TO STORMWATER FACILITY PER DETAILS AND RE-STABILIZE ALL SIDESLOPES AS REQUIRED USING EROSION CONTROL MATTING, SEED AND MULCH.
- FINISH PAVE ROADWAY. INSTALL STREET SIGNAGE.
- INSTALL STREET TREES PER PLAN AND DETAILS. STABILIZE ALL DISTURBED AREAS WITH TOPSOIL, SEED AND MULCH.
- ONCE THE SITE IS FULLY STABILIZED, AND THROUGH COORDINATION AND APPROVAL OF THE MARYLAND DEPARTMENT OF THE ENVIRONMENT INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES.

**NOTE:**

THE SEQUENCE OF CONSTRUCTION AS LISTED ABOVE IS FOR THE USE BY THE CONTRACTOR AS A GENERAL GUIDELINE FOR SEQUENCING CONSTRUCTION ACTIVITIES. THE CONTRACTOR MAY ADJUST THE SEQUENCE OF CONSTRUCTION, AS NEEDED, UPON THE APPROVAL BY THE OWNER AND THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.

**SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION**

- CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO ANY GRADING. FOLLOWING INITIAL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES GREATER THAN (3) HORIZONTAL TO (1) VERTICAL (3:1) AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PROVIDED AS INDICATED ON THIS PLAN, WITH LOCATION ADJUSTMENTS TO BE MADE IN THE FIELD AS NECESSARY, AND TO BE MAINTAINED AT THE END OF EACH WORKING DAY UNTIL PROJECT COMPLETION. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMAL AMOUNT OF TIME POSSIBLE.
- CLEARING AND GRUBBING SHALL INCLUDE ALL TREES, BRUSH, DEBRIS, ROOT MAT AND ORGANIC MATERIAL TO BE REMOVED.
- TEMPORARY SEEDING SHALL BE ACCOMPLISHED BETWEEN FEBRUARY 15TH THROUGH APRIL 30TH OR ADJUST 15TH THROUGH NOVEMBER 30TH. DURING OTHER TIMES, TEMPORARY MULCHING SHALL BE PROVIDED.
- TEMPORARY SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: 436 LBS PER ACRE OF 10-20-20; 4,000 LBS PER ACRE OF GROUND LIMESTONE, TO BE INCORPORATED INTO THE SOIL BY DISKING OR OTHER SUITABLE MEANS. ANNUAL RYE GRASS SHALL BE APPLIED AT A RATE OF 50 LBS PER ACRE USING SUITABLE EQUIPMENT. MULCHING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER SEEDING.

**TEMPORARY SEEDING SCHEDULE:**

Seed Mixture (Hardiness Zone 7a) (From Table B.1)				Seeding Depth	Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Appl. Rate (lbs/ac)	Seeding Dates			
	Annual Rye grass	50#	2/15-4/30 / 8/15-11/30	1"	Rate (436 lbs/ac) (10 lbs/ 1000 sf)	2 tons/ac (90 lbs/ 1000 sf)
	Barley	96#	2/15-4/30 / 8/15-11/30	1"		
	Oats	72#	2/15-4/30 / 8/15-11/30	1"		
	Wheat	120#	2/15-4/30 / 8/15-11/30	1"		
	Cereal Rye	112#	2/15-4/30 / 8/15-12/15	1"		
	Foxtail Millet	30#	5/1-8/14	1"		
	Pearl Millet	20#	5/1-8/14	1"		

- MULCHING SHALL BE UNCHOPPED, UNROTTED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2-2 1/2 TONS PER ACRE. ANCHOR MULCH WITH A MULCH ANCHORING TOOL ON THE CONTOUR. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW AT A RATE OF 750 LBS PER ACRE MIXED WITH WATER AT A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER PER 100 GALS OF WATER, OR WITH A SYNTHETIC LIQUID BINDER ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1,500 LBS PER ACRE. MIX WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 LBS OF WOOD CELLULOSE FIBER PER 100 GALS OF WATER.
- PERMANENT SEEDING SHALL BE ACCOMPLISHED BETWEEN FEBRUARY 15TH THROUGH APRIL 30TH, OR ADJUST 15TH THROUGH OCTOBER 31ST. PERMANENT SEEDING AT OTHER THAN SPECIFIED TIMES WILL BE ALLOWED ONLY UPON WRITTEN APPROVAL. PERMANENT SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: PERMANENT SEEDING FOR SITES HAVING DISTURBED OVER (5) ACRES SHALL USE FERTILIZER RATES RECOMMENDED BY A SOIL TESTING AGENCY AND THE RECOMMENDATIONS PROVIDED IN THE PERMANENT SEEDING SUMMARY TABLE. PERMANENT SEEDING FOR CONDITIONS OTHER THAN LISTED ABOVE SHALL BE PERFORMED AT THE RATES AND DATES AS PROVIDED IN THE PERMANENT SEEDING SUMMARY TABLE BELOW. FERTILIZER AND LIME AMENDMENTS SHALL BE INCORPORATED INTO THE TOP 3" TO 5" OF THE SOIL BY DISKING OR OTHER SUITABLE MEANS. MULCHING SHALL BE ACCOMPLISHED AS DISCUSSED IN ITEM NO. 6 OF THESE SPECIFICATIONS.

**PERMANENT SEEDING SCHEDULE:**

Seed Mixture (Hardiness Zone 7a) (From Table B.3)				Seeding Depth	Fertilizer Rate (10-20-20)			Lime Rate
NO	Species	Application Rate (lbs/ac)	Seeding Dates		N	P205	K20	
7	Creeping Red Fescue Kentucky Bluegrass	60# 15#	2/15 to 4/30 or 8/15 to 10/31	1"-1"	45 lbs/ac (1 lbs/ 1000 sf)	90 lbs/ac (2 lbs/ 1000 sf)	90 lbs/ac (2 lbs/ 1000 sf)	2 tons/ac (90 lbs/ 1000 sf)
8	Tall Fescue	100#	2/15 to 4/30 or 8/15 to 10/31	1"-1"				
9	Tall Fescue Kentucky Bluegrass Perennial Ryegrass	60# 40# 20#	2/15 to 4/30 or 8/15 to 10/31	1"-1"				

- ANY SPOIL OR BORROW WILL BE PLACED AT A SITE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL AREAS REMAINING OR INTENDED TO REMAIN DISTURBED FOR LONGER THAN SEVEN (7) DAYS SHALL BE STABILIZED IN ACCORDANCE WITH THE USDA, NATURAL RESOURCES CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS FOR CRITICAL AREA STABILIZATION.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY OF SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.

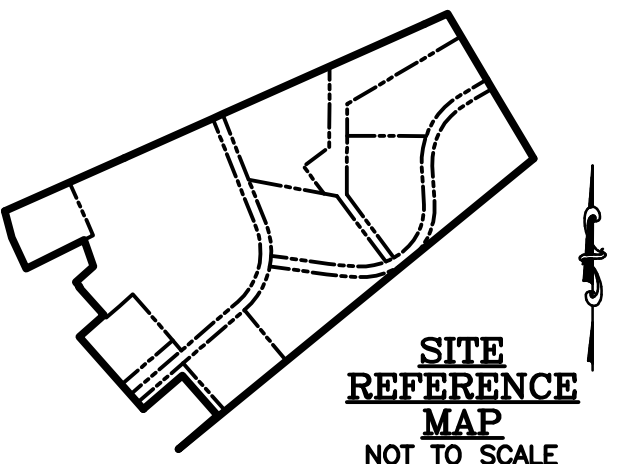
**SOIL CONSERVATION DISTRICT INFORMATION**

SOIL TYPES:

CAROLINE COUNTY SOILS				
MAP SYMBOL	SOILS NAME	HYDRIC SOILS	K FACTOR	SOIL GROUP
FaA	FALLSINGTON SANDY LOAM	YES		C/D
HbA	HAMBROOK SANDY LOAM		0.32	B
HbB	HAMBROOK SANDY LOAM		0.32	B
leA	INGLESIDE LOAMY SAND		0.05	A
leB	INGLESIDE LOAMY SAND		0.05	A
IgB	INGLESIDE SANDY LOAM		0.15	A
WdA	WOODSTOWN SANDY LOAM	YES	0.20	C

LIMIT OF DISTURBANCE AREA = 5.439 AC± (PHASE 1)  
 0.083 AC± (PHASE 2)  
 0.142 AC± (FUTURE WALSH WAY EXPANSION)  
 ESTIMATED VOLUME OF CUT = 1,648 CY± (PHASE 1)  
 ESTIMATED VOLUME OF FILL = 3,716 CY± (PHASE 1)

CUT AND FILL VOLUME INFORMATION IS FOR SOIL EROSION AND SEDIMENT CONTROL APPROVAL ONLY AND IS BASED ON EXISTING AND FINAL DESIGN TOPOGRAPHIC SURFACES, WHICH INCLUDES PROPOSED ROAD BASE, ASPHALT, CONCRETE AND OTHER CONSTRUCTION MATERIALS WHICH SHOULD BE ACCOUNTED FOR IN SOIL CUT/FILL QUANTITIES REQUIRED. CONTRACTOR SHALL PERFORM HIS OWN EARTHWORK VOLUME COMPUTATION FOR ESTIMATING OR BIDDING PURPOSES.



REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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Established 1986  
 Civil Engineers • Land Planning • Land Surveyors  
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 117 Bay St., Eaton, MD 21601 (410) 822-8003  
 15 Washington St., Centreville, MD 21613 (410) 221-0818  
 354 Pennsylvania Ave., Centreville, MD 21617 (410) 758-2095

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23182, Expiration Date: 7/5/2025.



**SEDIMENT & EROSION CONTROL NOTES & DETAILS**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

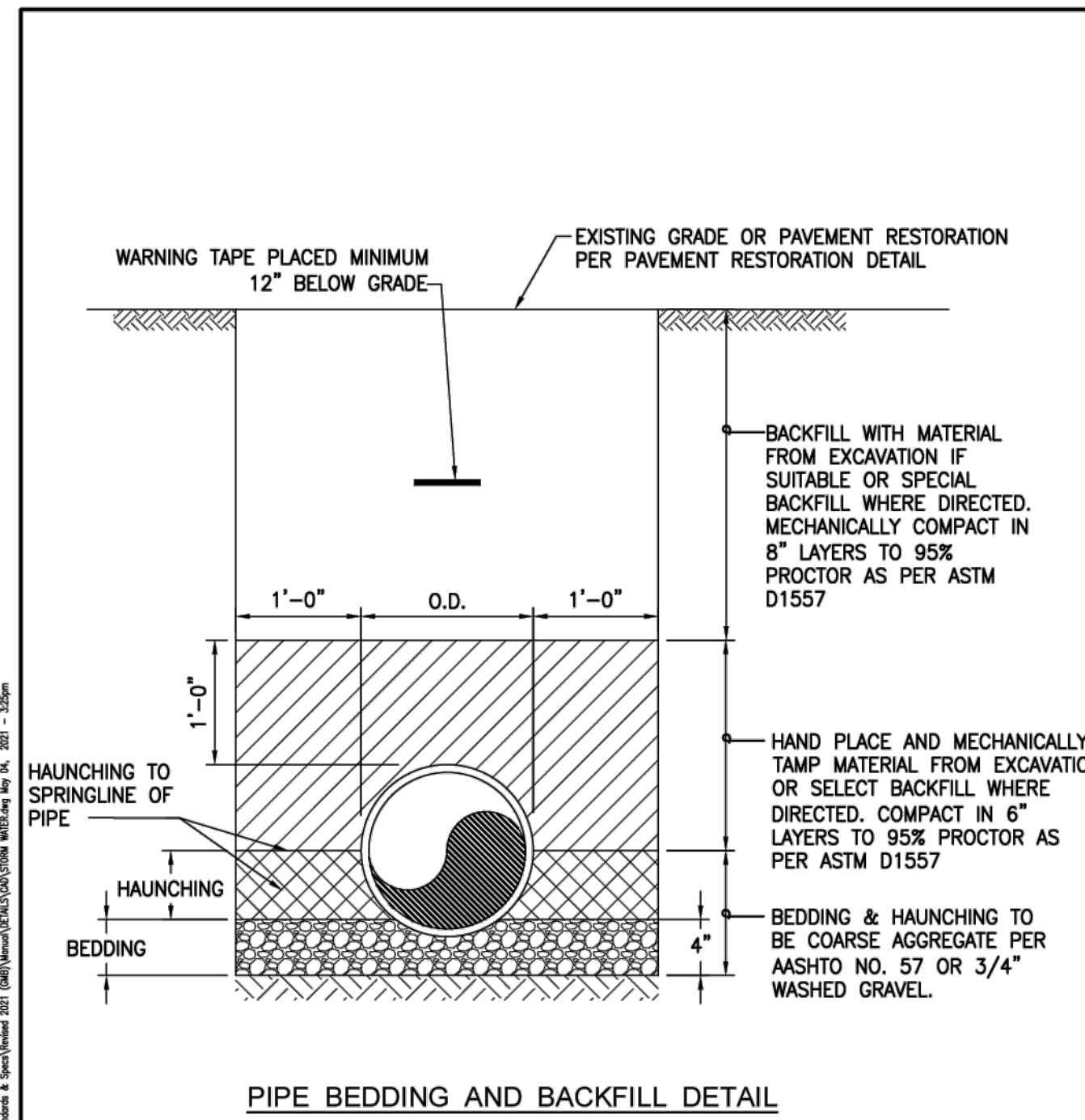
IN THE TOWN OF DENTON  
 CAROLINE COUNTY, MARYLAND  
 TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No. <b>C-501.1</b>	07/17/25
SCALE: <b>AS NOTED</b>	JOB No. 230379 FILE No. B562

Appendix B.4. Construction Specifications for Environmental Site Design Practices

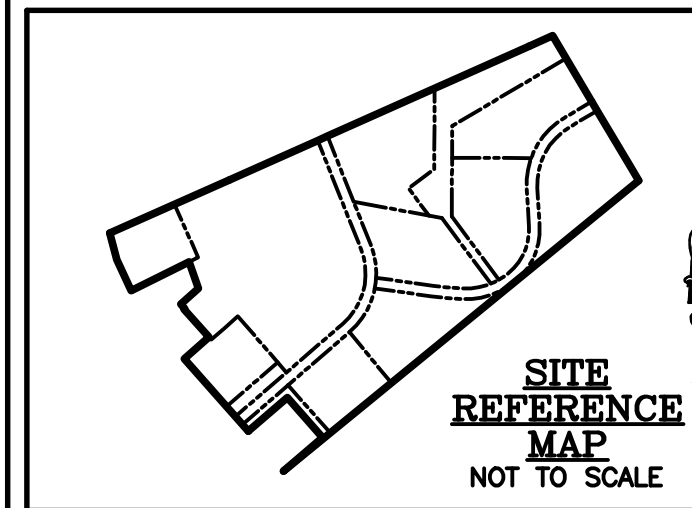
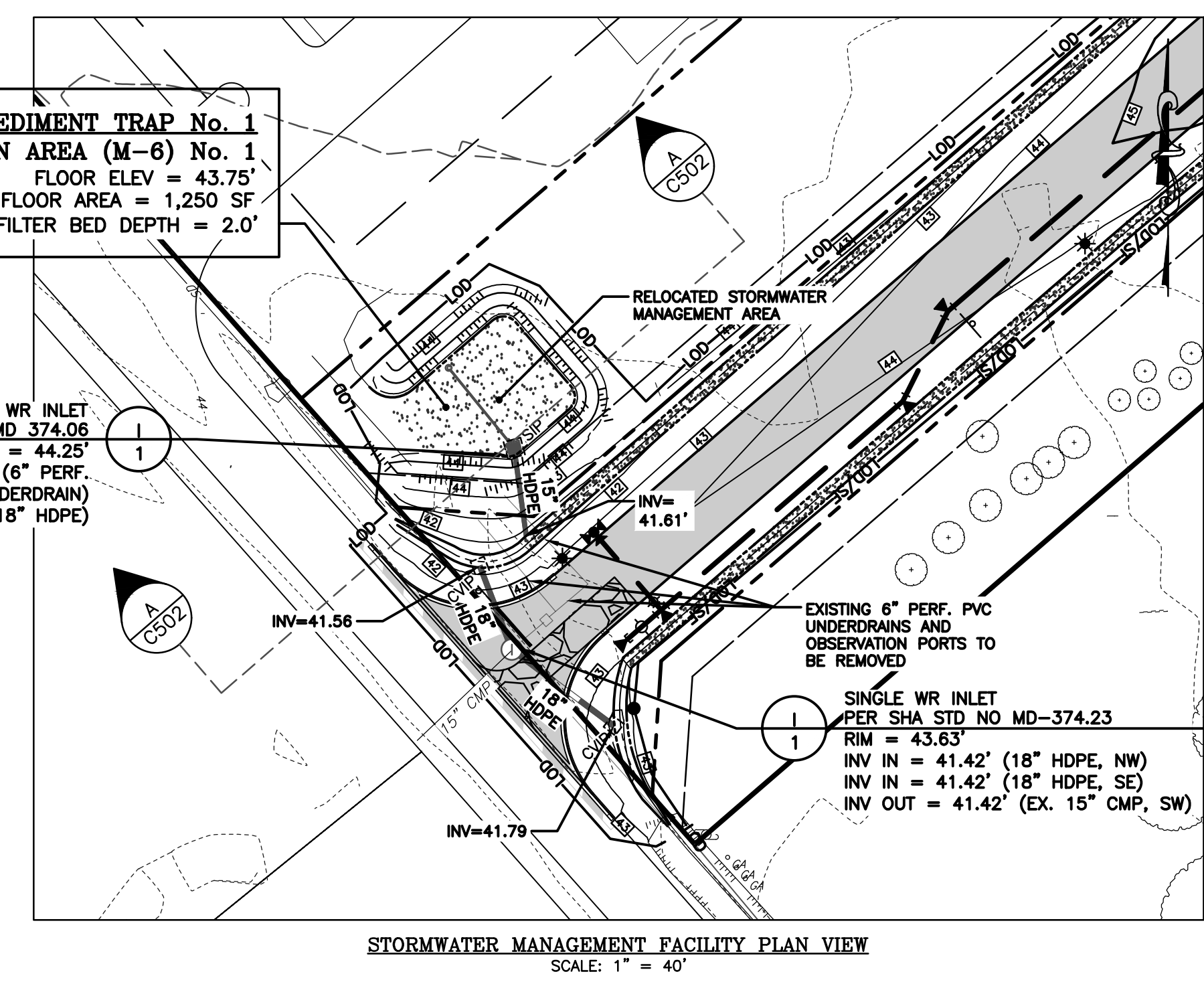
Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; $f'_c = 3500$ psi @ 28 days, normal weight, air-entrained, reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) <i>not using previously approved State or local standards</i> requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



TOWN OF DENTON DEPARTMENT OF PUBLIC WORKS	STORM DRAIN DETAILS PIPE BEDDING & BACKFILL	REVISED DEC 2007 APR 2021	SHEET SD-3.00
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**TEMPORARY SEDIMENT TRAP No. 1**  
MICRO-BIORETENTION AREA (M-6) No. 1  
FLOOR ELEV = 43.75'  
FLOOR AREA = 1,250 SF  
FILTER BED DEPTH = 2.0'

SINGLE WR INLET  
PER SHA STD NO MD 374.06  
RIM = 44.25'  
INV IN = 41.75' (6" PERF. HDPE UNDERDRAIN)  
INV OUT = 41.75' (18" HDPE)



No.	DATE	DESCRIPTION	BY

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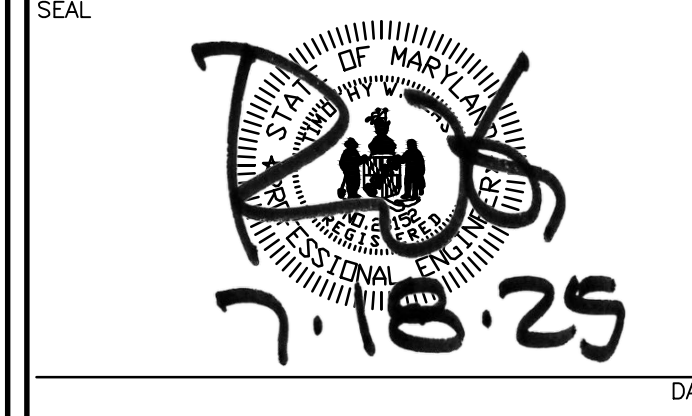
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PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23152, Expiration Date: 7/31/2025.



**STORMWATER MANAGEMENT & STORMDRAIN NOTES & DETAILS**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

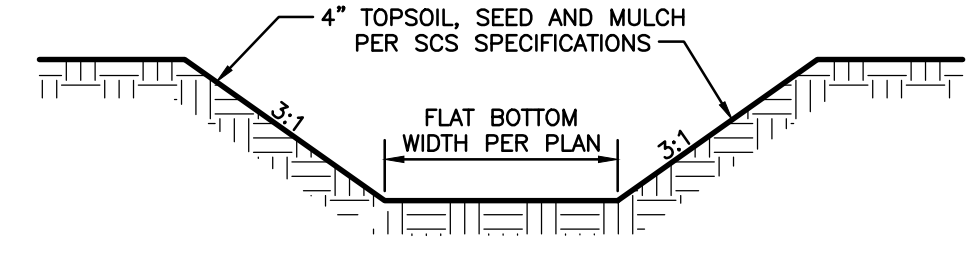
IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND  
TAX MAP 10B, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/05/25	TWG
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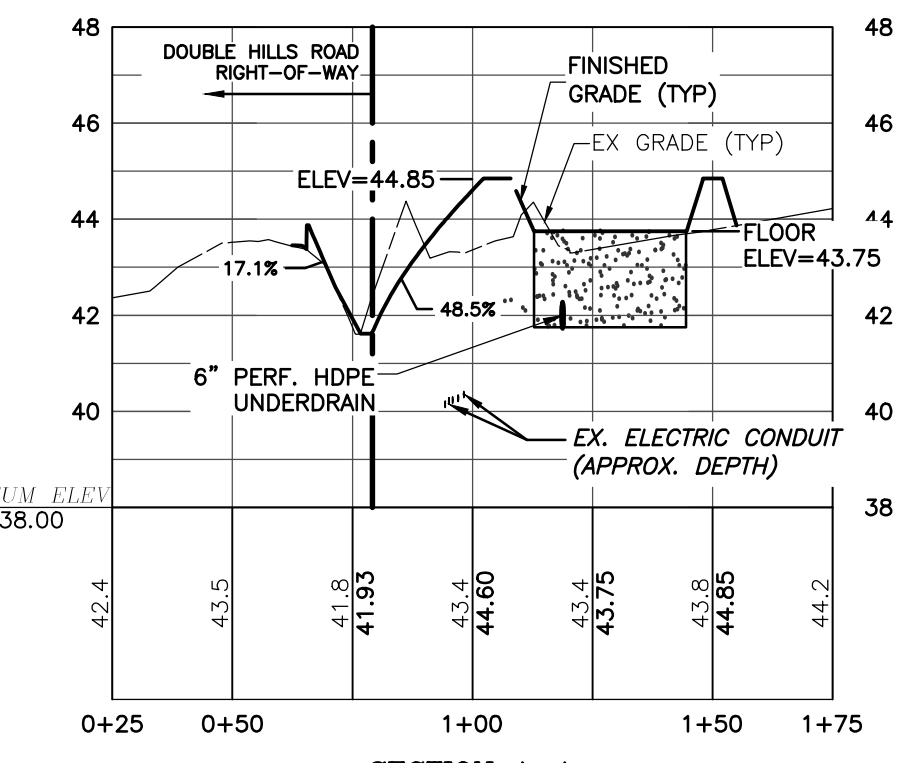
SHEET No. <b>C-502</b>	DATE 07/17/25
SCALE <b>AS NOTED</b>	JOB No. 230379
	FILE No. B562

**GRASS SWALE NOTES:**

- SLOPE = 0.70%±/PER PLAN
  - BOTTOM WIDTH = PER PLAN
  - SIDE SLOPES = VARIABLE; 10:1 - 3:1
  - FROM TOP OF SLOPES, GRADE AT MAXIMUM 3:1 SLOPE TO PROPOSED FINISHED OR EXISTING GRADE
- CARE MUST BE TAKEN TO AVOID COMPACTION OF SOILS AND CONTAMINATION WITH SEDIMENT OR OTHER DEBRIS WITHIN AND ADJACENT TO BIQ-SWALE AREAS.
- INSPECTION**  
REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
- DURING PLACEMENT AND BACKFILL OF ANY UNDERDRAINS AND THE INSTALLATION OF ANY DIAPHRAGMS, FOREBAYS, CHECK DAMS, OR WEIRS.
  - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.
- MAINTENANCE CRITERIA**
- REGULAR MOWING (AT LEAST BI-ANNUALLY) IS CRITICAL IN ORDER TO REDUCE COMPETITION FROM WEEDS AND IRRIGATION (OR WATERING) MAY BE NEEDED DURING DRY WEATHER TO ESTABLISH VEGETATION AND SHRUBBERY. SPARSELY VEGETATED AREAS NEED TO BE RE-SEEDED TO MAINTAIN DENSE COVERAGE.
  - IF WATER DOES NOT DRAIN WITHIN 48 HOURS, THE BOTTOM SOIL SHOULD BE TILLED AND RE-VEGETATED.
  - INSPECTIONS SHOULD BE PERFORMED ONCE A YEAR TO ASSESS SLOPE INTEGRITY, VEGETATIVE HEALTH, SOIL STABILITY, COMPACTION, EROSION, PONDING, AND SEDIMENTATION. PERIODIC REMOVAL OF SEDIMENT, LITTER, OR OBSTRUCTIONS SHOULD BE DONE AS NEEDED. ERODED SIDE SLOPES AND THE SWALE BOTTOM SHOULD BE REPAIRED AND STABILIZED WHERE NEEDED.



**TYPICAL FLAT BOTTOM GRASS SWALE CROSS SECTION DETAIL**  
NOT TO SCALE



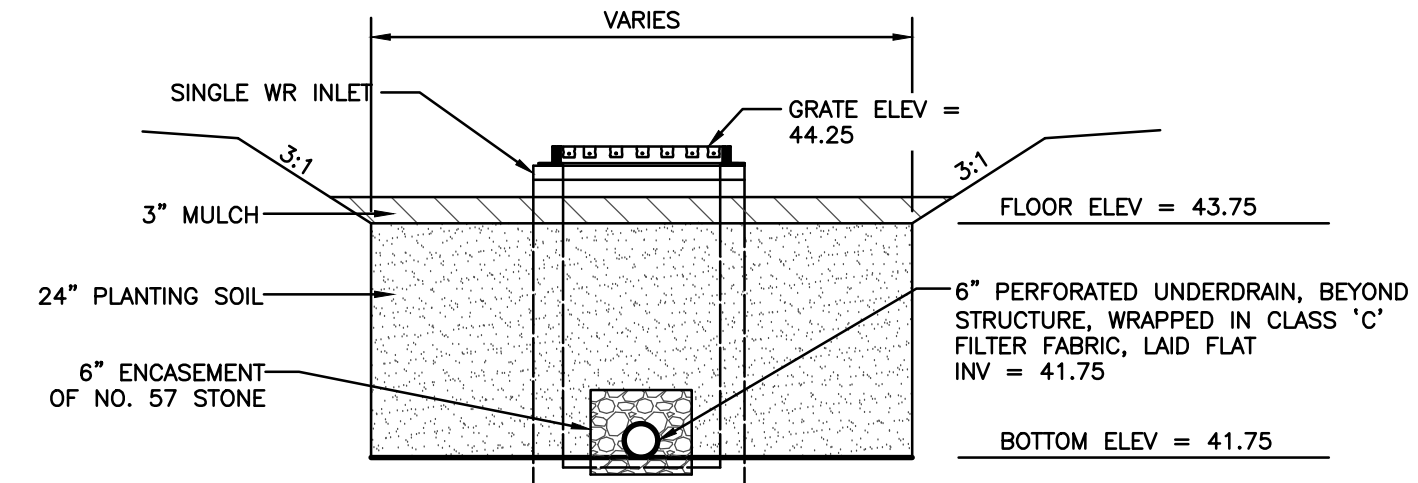
**SECTION A-A**  
SCALE: 1" = 40' (HORIZ.)  
1" = 4' (VERT.)

**MICRO-BIORETENTION AREA NOTES**

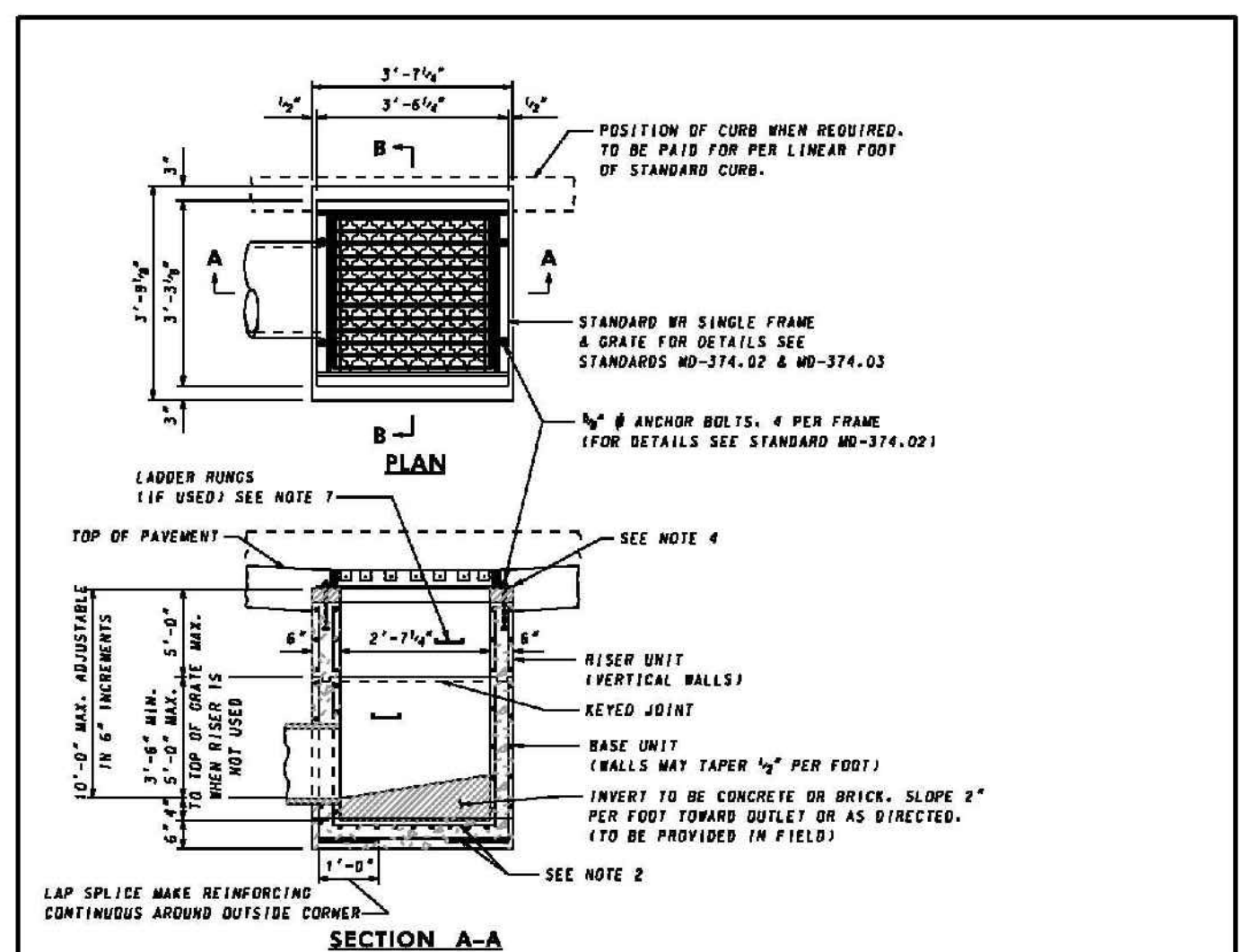
- DO NOT INSTALL PLANTING SOIL OR UNDERDRAIN SYSTEM UNTIL CONTRIBUTING DRAINAGE AREA IS STABILIZED. AS AN ALTERNATIVE THE MICRO-BIORETENTION AREA MAY BE CONSTRUCTED IF ENCLOSED WITH SILT FENCE.
- CONSTRUCTION SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. BOTTOM SHALL BE SCARIFIED BEFORE INSTALLING UNDERDRAIN SYSTEM.
- SEE TABLE B.4.1 FOR MATERIAL SPECIFICATIONS.
- SURFACE ELEVATION = PER PLAN
- SURFACE AREA = PER PLAN
- PROVIDE 24" DEPTH OF PLANTING SOIL. SOIL SHALL BE COMPOSED OF:
  - 60-65% LOAMY SAND AND 35-40% COMPOST, OR
  - 30% SANDY LOAM, 30% COARSE SAND AND 40% COMPOST.
- PLACE SOIL IN 12" LIFTS. DO NOT COMPACT WITH EQUIPMENT - SPRAYING WATER ON EACH LIFT MAY QUICKEN SETTLING TIMES.
- UNDERDRAIN PIPE SHALL BE 6" ADS N-12 PE OR SCH40, SIZES AS SHOWN, SLOTTED OR PERFORATED. 3/8" PERFORATIONS AT 6" ON CENTER, 4 HOLES PER ROW. PERFORATED PIPE SHALL BE WRAPPED WITH NON-WOVEN GEOTEXTILE FILTER FABRIC.
- UNDERDRAIN GRAVEL SHALL BE WASHED NO. 57 OR NO. 6 AGGREGATE (3/4" - 3/8"), 6" THICKNESS.
- REFER TO LANDSCAPE PLAN FOR PLANTINGS.
- PROVIDE 2-3" SHREDDED HARDWOOD MULCH.
- CONTACT ENGINEER FOR INSPECTIONS AT THE FOLLOWING STAGES OF CONSTRUCTION:
  - EXCAVATION TO SUBGRADE AND PLACEMENT OF UNDERDRAIN SYSTEM.
  - PLACEMENT OF PLANTING SOIL.
  - CONSTRUCTION OF CONVEYANCE STRUCTURES AND PIPES.
  - COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.

**MAINTENANCE SCHEDULE**

- NOTE: OWNER SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT PRACTICES. A MAINTENANCE LOG, DETAILING INSPECTIONS AND CORRECTIVE ACTIONS TAKEN, SHALL BE MAINTAINED BY THE OWNER AND SHALL BE AVAILABLE FOR REVIEW BY THE TOWN. THE TOWN RESERVES THE RIGHT TO INSPECT THE FACILITIES AND REVIEW SAID OWNER'S RECORDS AS NECESSARY.
- INSPECTIONS SHALL BE CONDUCTED AFTER EVERY SIGNIFICANT STORM EVENT (GREATER THAN 1" OF RAINFALL) WITH A MINIMUM OF ONE INSPECTION EVERY 6 MONTHS.
  - SILT AND SEDIMENT ACCUMULATION SHOULD BE REMOVED FROM THE SURFACE WHEN ACCUMULATION EXCEEDS ONE INCH.
  - TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.
  - WHEN WATER PONDS FOR MORE THAN 48 HOURS, THE TOP FEW INCHES OF PLANTING MEDIA SHALL BE REMOVED AND REPLACED.
  - SOD SLOPES SHALL BE MOWED REGULARLY.
  - OCCASIONAL PRUNING AND REPLACEMENT OF DEAD VEGETATION IS NECESSARY. IF SPECIFIC PLANTS ARE NOT SURVIVING, MORE APPROPRIATE SPECIES SHALL BE USED. WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS.
  - INLETS AND OUTLETS SHOULD BE FREE FROM DEBRIS TO PREVENT CLOGGING.
  - EROSION AT INFLOW POINTS SHOULD BE REPAIRED.
  - MULCH SHOULD BE REPLACED ANNUALLY.



**MICRO-BIORETENTION AREA SECTION**  
NOT TO SCALE



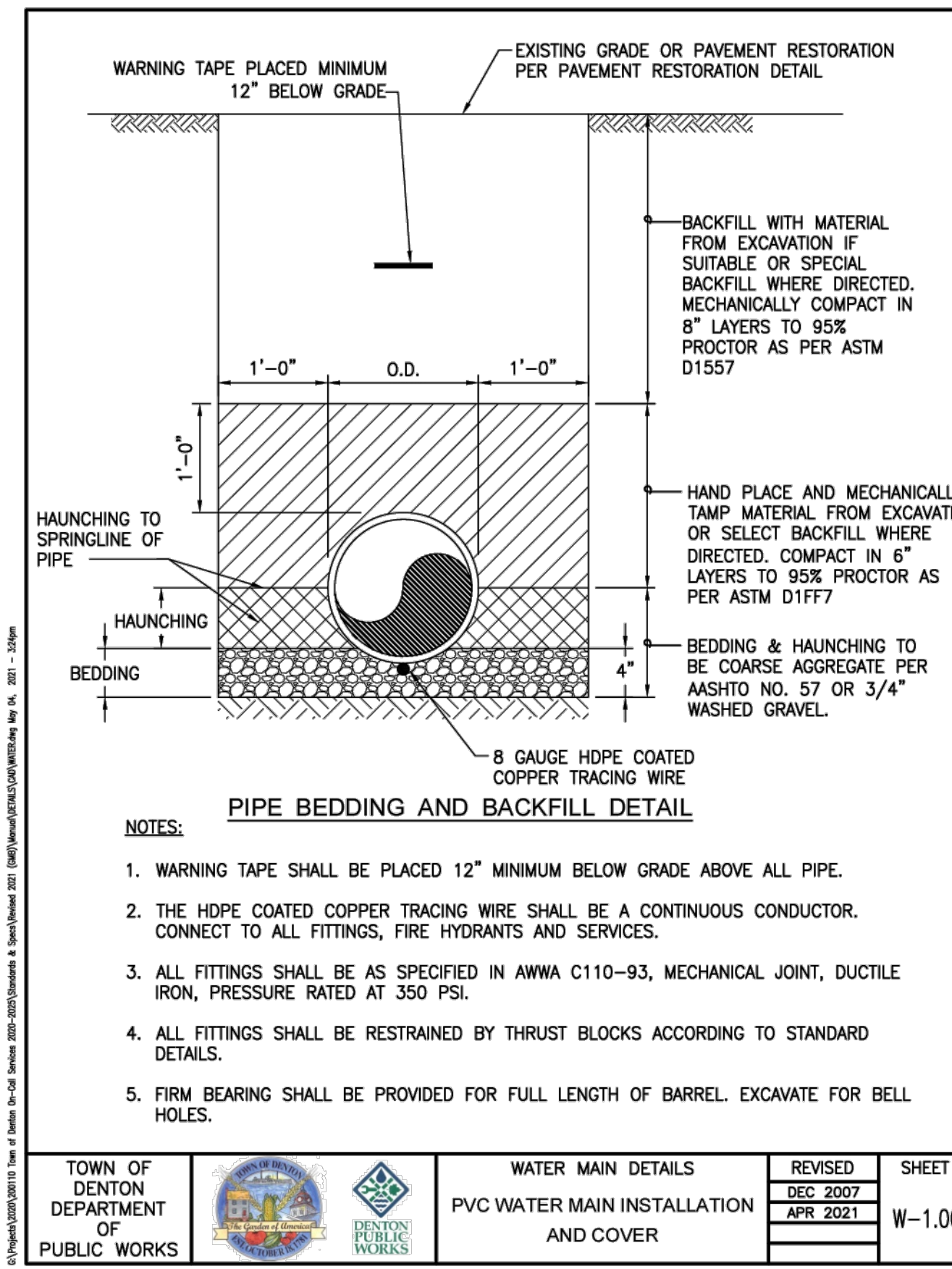
- NOTES**
- CONCRETE TO BE MIX NO. 6 (4500 PSI).
  - REINFORCING-2 LAYERS OF #4x8x-D WELDED WIRE FABRIC.
  - THREADED PLASTIC INSERTS TO BE PROVIDED FOR HANDLING.
  - GRADE AND SLOPE ADJUSTMENTS COMPLETED IN THE FIELD USING CONCRETE MIX NO. 6.
  - PIPE OPENINGS TO BE PROVIDED AS REQUIRED, FOR SIZE, LOCATION, AND INVERT ELEVATIONS REFER TO CONSTRUCTION PLANS.
  - PLACEMENT OF SUBGRADE DRAINAGE WILL BE AS DIRECTED BY THE ENGINEER OR AS NOTED ON THE CONSTRUCTION PLANS.
  - LADDER RUNGS SHALL BE IN ACCORDANCE WITH STANDARD MD 383.91 AND MD 383.92 OR AS DIRECTED BY THE ENGINEER.
  - MINIMUM DEPTH PAYMENT PER "RASH" INLET INCLUDES DEPTHS UP TO 3'-6". VERTICAL DEPTH PAYMENT PER LINEAR FOOT FOR DEPTHS IN EXCESS OF 3'-6".

PRECAST SINGLE WR INLET  
STANDARD NO. MD 374.23

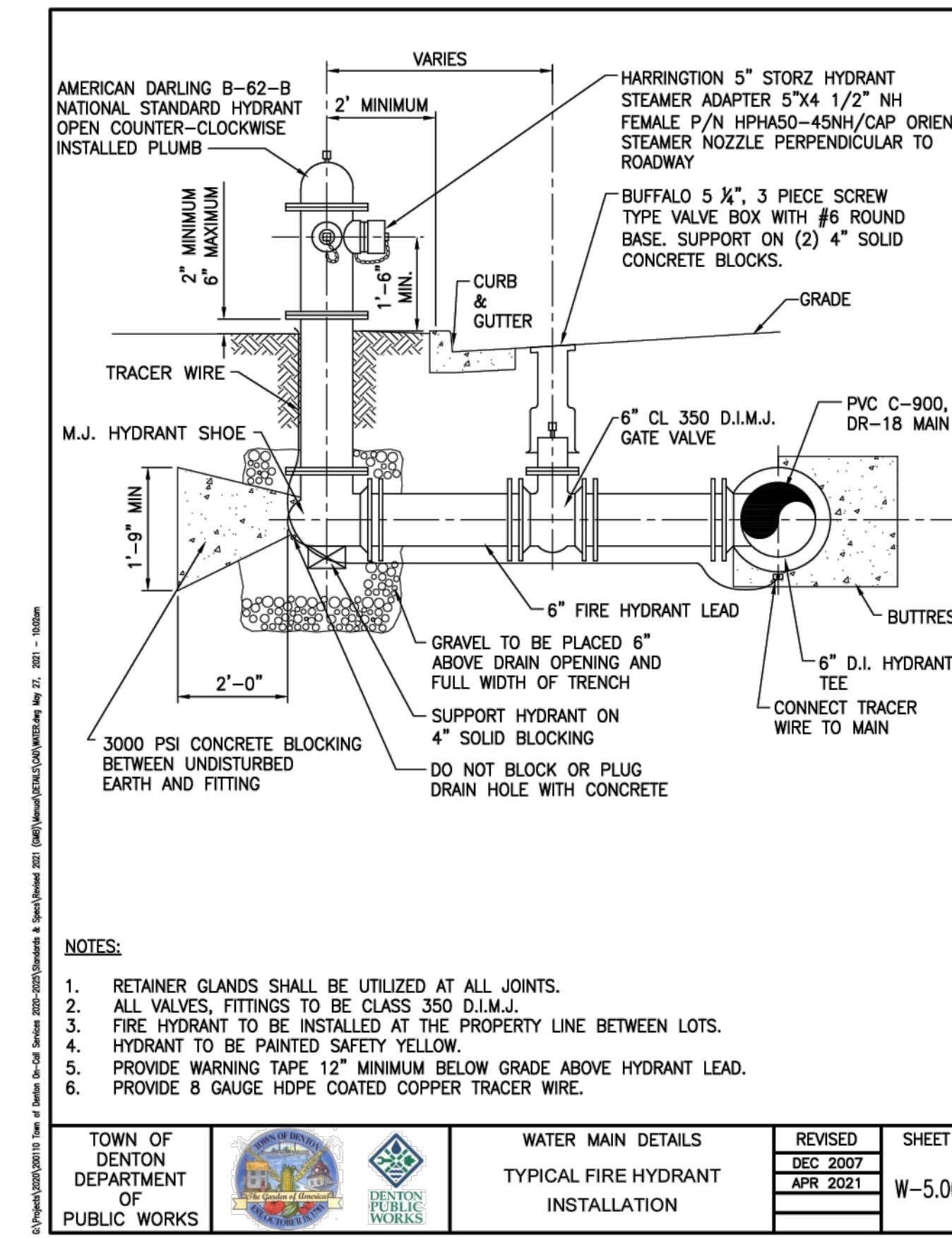
Maryland Department of Transportation  
STATE HIGHWAY ADMINISTRATION  
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES

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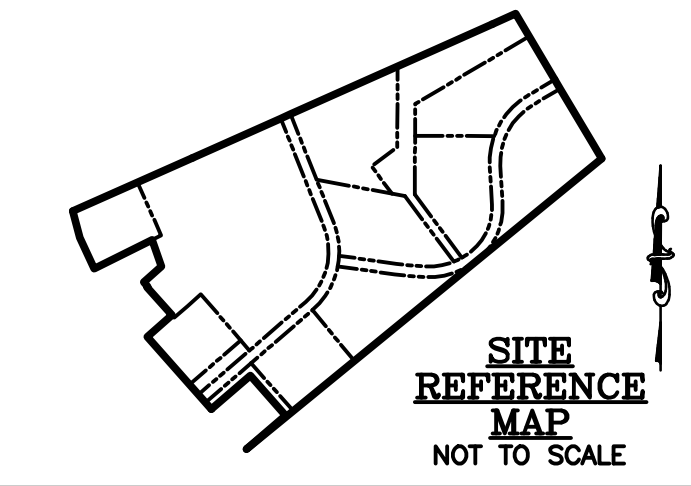




TOWN OF DENTON DEPARTMENT OF PUBLIC WORKS	WATER MAIN DETAILS PVC WATER MAIN INSTALLATION AND COVER	REVISED DEC 2007 APR 2021	SHEET W-1.00
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TOWN OF DENTON DEPARTMENT OF PUBLIC WORKS	WATER MAIN DETAILS TYPICAL FIRE HYDRANT INSTALLATION	REVISED DEC 2007 APR 2021	SHEET W-5.00
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REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

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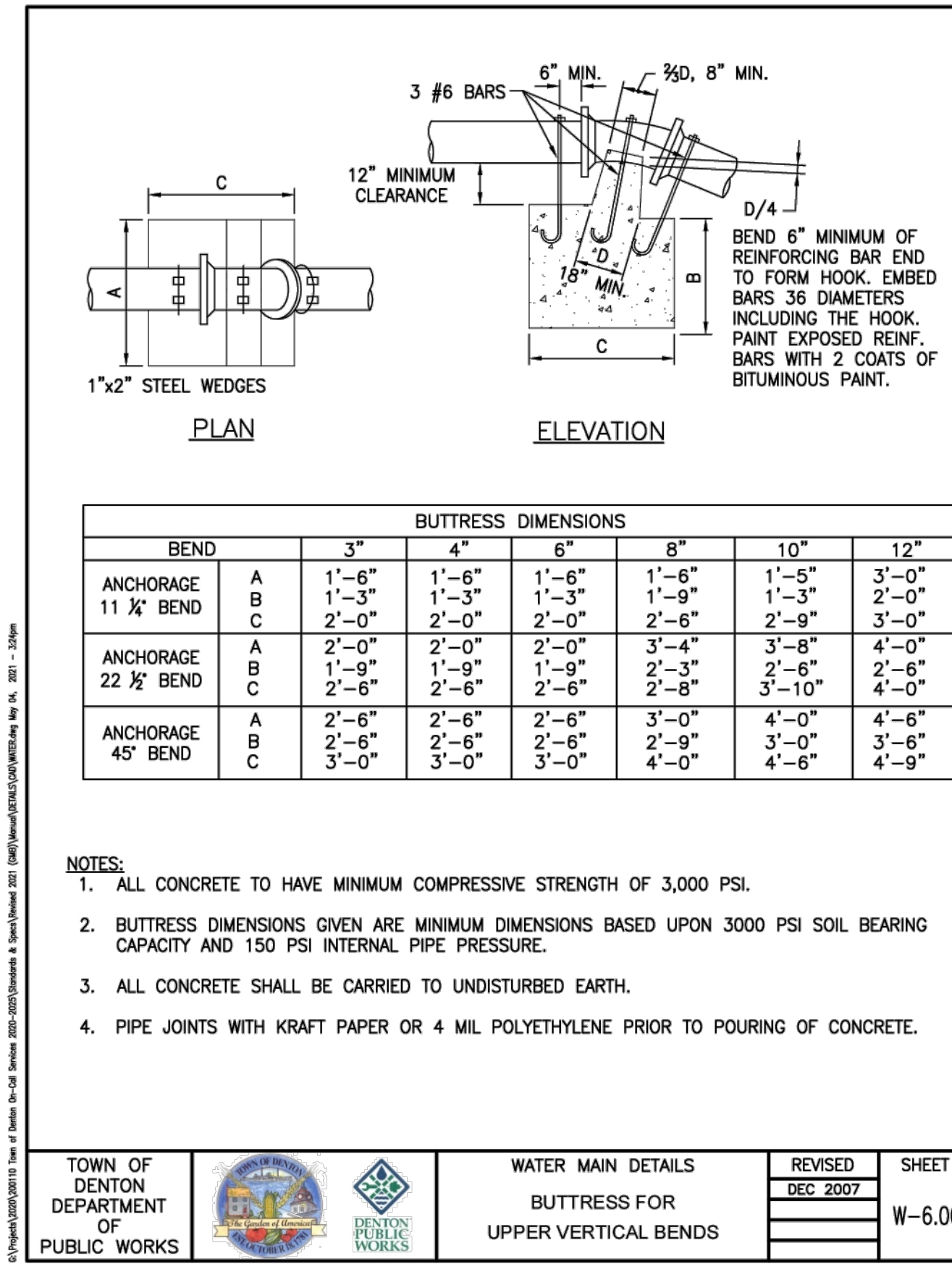
**WATER DETAILS**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

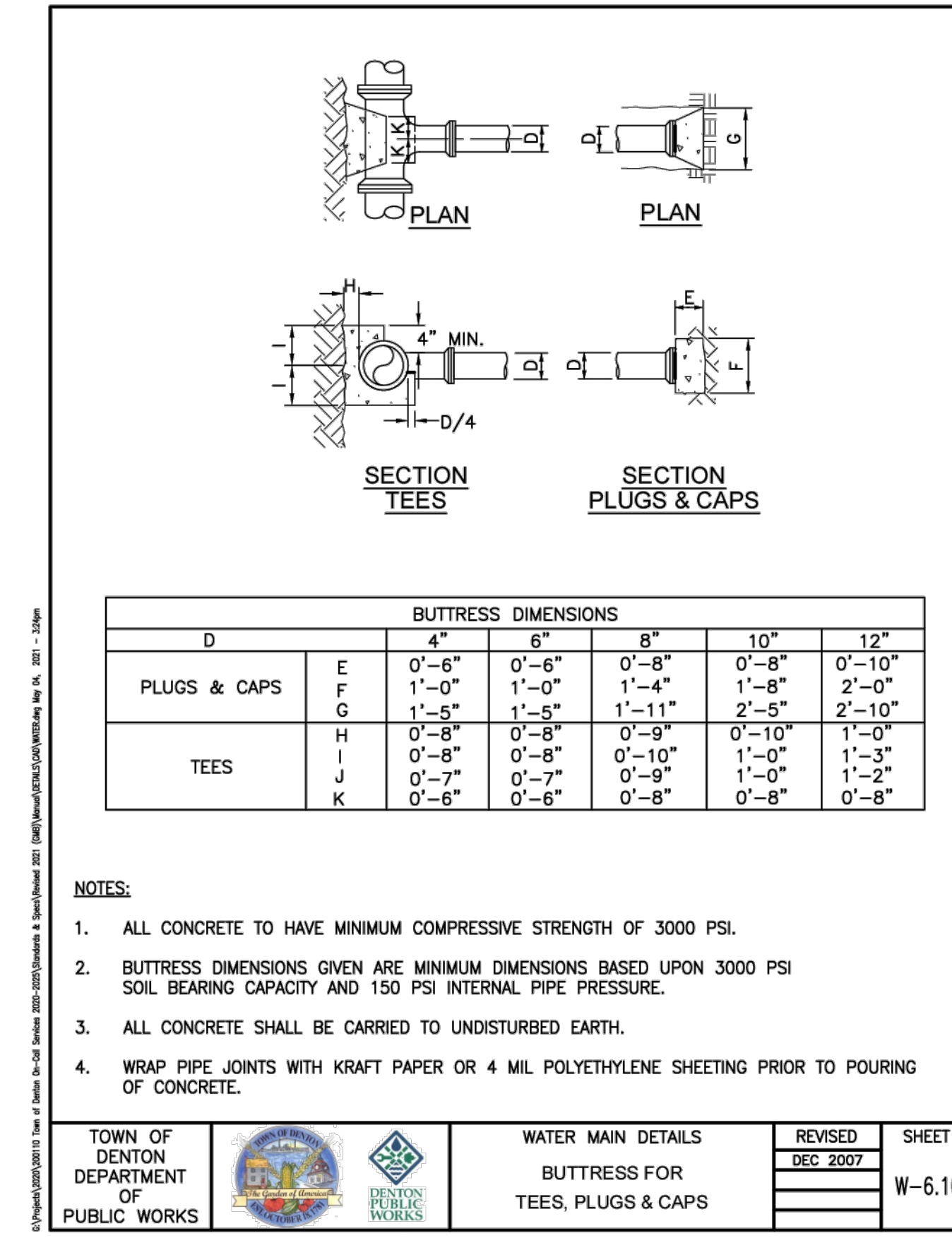
IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND  
TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
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SCD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No. <b>C-504</b>	07/17/25
SCALE: <b>AS NOTED</b>	JOB No. 230379
	FILE No. B562



TOWN OF DENTON DEPARTMENT OF PUBLIC WORKS	WATER MAIN DETAILS BUTTRESS FOR UPPER VERTICAL BENDS	REVISED DEC 2007	SHEET W-6.00
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TOWN OF DENTON DEPARTMENT OF PUBLIC WORKS	WATER MAIN DETAILS BUTTRESS FOR TEES, PLUGS & CAPS	REVISED DEC 2007	SHEET W-6.10
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Date: 07/17/2025 - 3:10pm User: bwallace Project Manager: TWG  
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**LANDSCAPE PLANT MATERIAL AND INSTALLATION SPECIFICATIONS**

**GENERAL:** ALL LANDSCAPE INSTALLATION SHALL BE ACCOMPLISHED WITH QUALIFIED PERSONNEL, UTILIZING INDUSTRY STANDARD PRACTICES AND TECHNIQUES.

THE CONTRACTOR (CONTRACTOR) IS RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL LANDSCAPING SHOWN OR IMPLIED ON THIS PLAN. PLANT QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. PRIOR TO INSTALLATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF PROPOSED SPECIES AND/OR SITE PLANTING CONDITIONS WARRANT RE-DESIGN CONSIDERATIONS.

**PLANT MATERIAL:** ALL PLANT MATERIAL SHALL BE NATIVE TO BE CONSISTENT WITH NATIVE FLORA AND FAUNA AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AS APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. LATEST EDITION. ALL PLANT MATERIAL SHALL BE NURSERY GROWN WITH SOUND HORTICULTURAL PRACTICES AND UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT, GROWN IN SOIL AND CLIMATIC CONDITIONS SIMILAR TO THIS PROJECT SITE. ALL MATERIAL SHALL EXHIBIT HEALTHY GROWTH WITH GOOD BRANCHING STRUCTURE, DENSE FOLIAGE AND A FIBROUS, DEVELOPED ROOT SYSTEM. ALL MATERIAL SHALL BE FREE OF INSECT INFESTATION AND DISEASE. THE OWNER RESERVES THE RIGHT TO HAVE THE PLANT MATERIAL INSPECTED AND TAGGED AT THE GROWING SITE, AND TO REJECT ANY DEFICIENT MATERIAL AT THE JOB SITE.

**PLANT MATERIAL HANDLING:** ALL PLANT MATERIAL SHALL ARRIVE AT THE JOB SITE IN A HEALTHY CONDITION. CRACKED ROOT BALLS AND OTHER DAMAGED MATERIALS SHALL BE REJECTED AND REPLACED BY CONTRACTOR. THE CONTRACTOR SHALL STAGE DELIVERY AND PLANT INSTALLATION TO MINIMIZE STRESS ON PLANT MATERIAL. MATERIAL TO BE STAGED ON OR OFF THE JOB SITE SHALL BE LOCATED TO PROTECT FROM HOT SUN AND DRYING WINDS, AND SHALL BE WATERED TO MAINTAIN A STRESS FREE CONDITION. ON-SITE WATER MAY NOT BE AVAILABLE FOR CONTRACTOR USE. THE LACK OF AVAILABLE WATER SHALL NOT RELIEVE THE CONTRACTOR OF ADEQUATE MAINTENANCE.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. COORDINATE WITH OTHER CONTRACTORS ON SITE AND MISS UTILITY TO VERIFY UTILITY LOCATIONS. ANY REPAIRS TO EXISTING UNDERGROUND UTILITIES REQUIRED AS A RESULT OF ACTIONS OF THE CONTRACTOR AND/OR HIS ASSIGNS SHALL BE BORNE BY CONTRACTOR.

CONTRACTOR SHALL VERIFY THAT FINAL ROUGH GRADES HAVE BEEN ESTABLISHED AND THAT THE SITE IS READY FOR LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL INSURE THAT PLANTINGS WILL HAVE THAT ADEQUATE DRAINAGE. THE CONTRACTOR SHALL INSTALL PLANT MATERIAL FACTORING IN ANY FINAL GRADING WORK TO BE COMPLETED AFTER LANDSCAPE INSTALLATION.

**PLANTING SCHEDULE:** PLANTING SCHEDULES SHALL COINCIDE WITH THE OVERALL PROGRESS OF SITE CONSTRUCTION. CERTAIN PLANT SPECIES REQUIRE SPECIFIC SEASON INSTALLATION AND SHALL BE COORDINATED APPROPRIATELY. PLANTING IS DISCOURAGED IN THE HOT, DRY PERIODS OF SUMMER AND DURING FROZEN GROUND CONDITIONS OF WINTER, BUT MAY BE CONSIDERED YEAR-ROUND WITH MAINTENANCE REQUIREMENTS ADDRESSED ACCORDINGLY. THE CONTRACTOR IS RESPONSIBLE FOR PLANT MATERIAL HEALTH AND VIGOR REGARDLESS OF WHEN THE MATERIAL IS INSTALLED. RECOMMENDED PLANTING TIMEFRAMES:

- BALL & BURLAP STOCK - OCTOBER 15 THRU APRIL 15.
- CONTAINER STOCK - YEAR-ROUND WITH ADEQUATE WATER.
- BARE -ROOT TREES/SHRUBS - NOVEMBER 15 THRU APRIL 15.
- TURF - SEED AUGUST 15 THRU NOVEMBER 1, MARCH 1 THRU APRIL 15.
- TURF - SOD INSTALLATION OCTOBER 15 THRU MARCH 15, BALANCE OF YEAR WITH ADEQUATE IRRIGATION.

**PLANTING BED/PIT PREPARATION:** CONTRACTOR SHALL LAYOUT BEDS AND POSITION PLANTS FOR APPROVAL BY LANDSCAPE ARCHITECT. REVIEW ANY SIGNIFICANT FIELD ADJUSTMENTS PRIOR TO INSTALLATION. ALL BED AREAS SHALL BE TREATED WITH HERBICIDE TO KILL WEED OR GRASS VEGETATION.

ALL TREE PITS AND INDIVIDUAL SHRUB PLANTING PITS SHALL BE EXCAVATED TO A DEPTH SO THAT THE PLANT ROOT FLARE SHALL LIE AT THE FINISHED GRADE SURROUNDING THE PLANT OR PLANTINGS. REMOVE SOIL THAT MAY HAVE BEEN PLACED ON TOP OF ROOT BALL OR SETTLED AROUND TRUNK OR ROOT FLARE DURING TRANSPORT TO ADEQUATELY EXPOSE ROOT FLARE SO PROPER PLANTING DEPTH CAN BE ESTABLISHED. THE ROOT BALL SHALL REST ON UNDISTURBED OR STABILIZED SOIL. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THIS PLANTING DEPTH SPECIFICATION CANNOT BE IMPLEMENTED. TREE PLANTING PITS SHALL BE EXCAVATED TO A WIDTH EQUALING TWICE THE ROOT BALL DIAMETER. TREE PITS ON SLOPED AREAS SHALL BE EXCAVATED TO THE PROPER DEPTH BASED ON THE UPHILL SIDE OF THE SLOPE. SHRUB/PERENNIAL AND MASS PLANTING BEDS SHALL BE WORKED OR EXCAVATED TO THE DEPTH OF THE ROOT BALL PROVIDING FOR THE ROOT BALL TO REST ON UNDISTURBED SOIL. EXCAVATED SOILS NOT PREVIOUSLY COMPACTED OR OTHERWISE DEGRADED SHALL BE RE-USED FOR PLANTING PIT BACKFILL. EXCAVATED SOILS UNSUITED FOR BACKFILL SHALL BE AMENDED WITH FRIABLE TOPSOIL TO CREATE A SUITABLE PLANTING SOIL AS APPROVED BY THE LANDSCAPE ARCHITECT. EXCAVATED SOILS THAT CANNOT BE RESTORED TO A REASONABLE PLANTING SOIL SHALL BE REMOVED AND REPLACED WITH A FRIABLE, TOPSOIL/SUB SOIL PLANTING MIX TYPICAL OF THE REGION. NOTE: FOR BIDDING PURPOSES OR UNLESS OTHERWISE SPECIFIED HEREON, THE CONTRACTOR SHALL ASSUME EXCAVATED SOILS ARE SUITABLE FOR PLANTING BACKFILL.

PLANTING BEDS FOR AZALEAS, RHODODENDRONS, YEW AND OTHER MOISTURE SENSITIVE PLANT MATERIAL SHALL BE MOUNDING AND AMENDED WITH SAND, PEAT OR COMPOST AS NECESSARY TO SUITABLE PLANTING SOIL AND DRAINAGE.

UNLESS SPECIFICALLY INTENDED AS PART OF STORM WATER MANAGEMENT DESIGN, ALL PLANTING BEDS ADJACENT TO PAVED AREAS SHALL BE MOUNDING SO THAT PAVING RUNOFF DOES NOT DIRECTLY DUMP OR SHEET FLOW INTO PLANTING AREAS. PROVIDE BREAKS IN THE MULCH WHERE CONTINUOUS PLANTING BEDS MAY IMPEDE DRAINAGE PATTERNS.

TURF AREAS SHALL RECEIVE 4" MINIMUM TOPSOIL STOCKPILED FROM SITE, OR IF UNAVAILABLE, SUPPLIED FROM LOCAL SOURCES WITH SIMILAR CHARACTERISTICS TO THE NATIVE TOPSOIL OF THE SITE. ALL LAWN AREAS SHALL BE WORKED TO A DEPTH OF 4".

CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION (IF APPLICABLE TO THIS PROJECT) TO INSURE THAT PRELIMINARY IRRIGATION WORK IS COMPLETED OR COORDINATED WITH PLANTING EFFORTS.

**PLANT INSTALLATION:** REMOVE BURLAP AND OTHER ROOT BALL COVERING TO THE EXTENT POSSIBLE- AT A MINIMUM THE UPPER 1/2 OF ROOT BALL WRAP SHALL BE REMOVED, CUT AND REMOVE AT LEAST THE TOP 1/3 OF WIRE BASKETS AND ALL ROOT BALL BINDINGS, STRING TIES, STRAPPING, LABELS, ETC. FROM THE PLANT MATERIAL. CUT OR SCARIFY THE SIDES OF CONTAINER GROWN STOCK TO ELIMINATE BOUND ROOTS AND PROMOTE HEALTHY ROOT GROWTH.

PLANTS SHALL BE INSTALLED VERTICALLY AND PLUMB. PLANT PITS SHALL BE BACKFILLED AND COMPACTED. ALL PLANTS SHALL BE WATERED DURING PLANTING TO MINIMIZE AIR POCKETS AND TO INSURE SOIL CONTACT WITH ROOTS. LET PLANT PITS SETTLE, AND ADD SOIL TO FILL VOIDS PRIOR TO MULCHING. WHERE PLANTINGS ARE NOT IRRIGATED, UTILIZE EXCAVATED SOIL TO FORM A WATERING COLLAR AROUND THE TREE OR SHRUB AT THE PERIMETER OF THE ROOT BALL. FEATHER SOIL GRADES AROUND PLANTINGS TO BLEND WITH SURROUNDING LANDSCAPE OR TURF AREAS. EXCESS EXCAVATED SOIL SHALL BE REMOVED FROM JOB SITE.

DECIDUOUS TREES OVER 2" CALIPER AND EVERGREEN TREES OVER 7' HEIGHT (UNLESS OTHERWISE WAIVED BY THE LANDSCAPE ARCHITECT), SHALL BE STAKED AND GUYED WITH MINIMUM 2" X 2" X 6' HARDWOOD STAKES PLACED IN STABLE SOILS. GUY TREES TO STAKES WITH PROTECTIVE MATERIALS TYPICALLY UTILIZED IN THE INDUSTRY.

ALL PLANTING BEDS AND PITS NOT OTHERWISE CONTAINED WITH HARD EDGING SHALL BE EDGED WITH A 3" DEEP "V" TRENCH. ALL PLANTS AND BEDS, UNLESS OTHERWISE NOTED HEREON SHALL BE MULCHED TO A 2" DEPTH WITH DOUBLE SHREDED, HARDWOOD BARK MULCH. MULCH SHALL GENERALLY EXTEND TO THE EDGE OF PAVING OR BUILDINGS, OR BACK OF CURB. IN OPEN AREAS ADJACENT TO TURF OR NATURALIZED AREAS, MULCH SHALL EXTEND A MINIMUM OF 2' BEYOND THE TRUNK FOR TREES AND 1.0' BEYOND THE EDGE OF SHRUB FOLIAGE. UNLESS OTHERWISE SPECIFICALLY DIRECTED HEREON, SHAPE THE MULCH-BED EDGE CONDUCTIVE TO EASE OF MOVING OR MAINTENANCE OF THE ADJOINING AREA. DO NOT PLACE OR MOUND MULCH AGAINST THE TRUNK OR FOLIAGE OF PLANTS.

THE CONTRACTOR SHALL MAINTAIN A CLEAN JOB SITE AND REMOVE ALL PLANTING AND SUPPLY DEBRIS DAILY DURING THE COURSE OF IMPLEMENTATION.

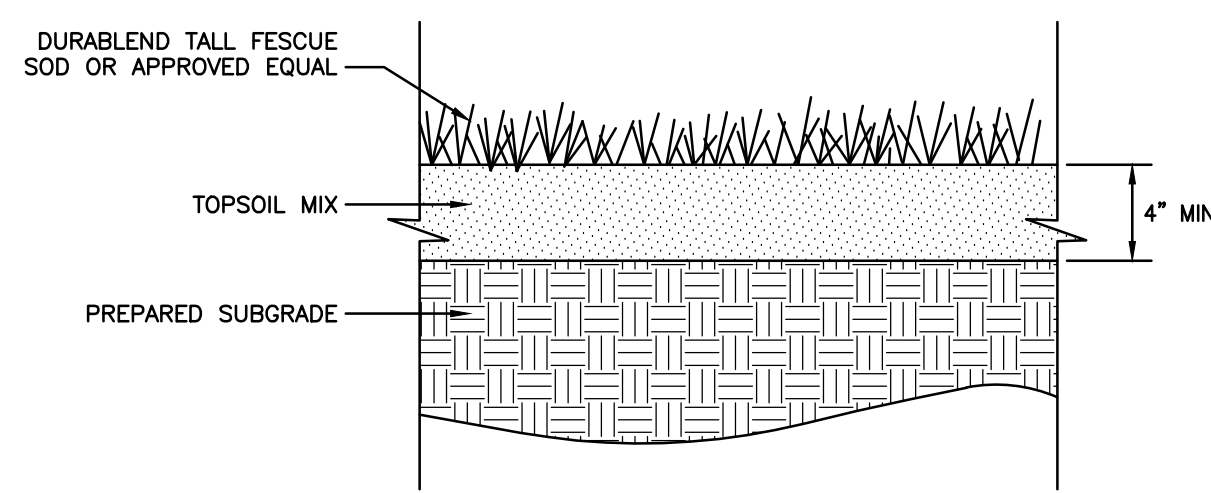
**LANDSCAPE WARRANTIES**

THE OWNER/DEVELOPER SHALL WARRANT ALL LANDSCAPE INSTALLATIONS TWO (2) YEARS FROM DATE OF NOTICE OF SUBSTANTIAL COMPLETION. UNLESS OTHERWISE SPECIFIED IN AN AGREEMENT WITH THE OWNER, THE CONTRACTOR SHALL WARRANT ALL INSTALLATION FOR ONE (1) YEAR FROM THE DATE OF NOTICE OF SUBSTANTIAL COMPLETION. DURING THE WARRANTY PERIOD, DEFICIENT PLANT MATERIALS SHALL BE REPLACED AS SOON AS POSSIBLE AND WARRANTED THROUGH THE REMAINDER OF THE WARRANTY PERIOD. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR WARRANTING THE WORK AGAINST LACK OF OWNER MAINTENANCE AFTER CONTRACTORS MAINTENANCE RESPONSIBILITIES END, OR FROM VANDALISM, EXTREME HURRICANE/FLOODING EVENTS OR OTHER EXTREME EVENTS BEYOND THE NORMAL, PRACTICAL AND REASONABLE CONTROL OF THE CONTRACTOR. THE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR A ONE (1) TIME REPLACEMENT OF DEAD OR DEFICIENT PLANT MATERIAL.

**PLANT LIST**

SYM	QUAN	SCIENTIFIC NAME	COMMON NAME	SPECIFICATION	UNIT COST	TOTAL PLANT COST
<b>LANDSCAPE INFILTRATION AREA</b>						
AS	16	ASCLEPIAS SYRIACA	COMMON MILKWEED	QUART, 2' 0"/C	\$ 3.00	\$ 48.00
AT	16	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	QUART, 2' 0"/C	\$ 3.00	\$ 48.00
CS	18	CAREX STRICTA	TUSSOCK SEDGE	QUART, 2' 0"/C	\$ 3.00	\$ 54.00
CV	18	CAREX VULPINOIDEA	FOX SEDGE	QUART, 2' 0"/C	\$ 3.00	\$ 54.00
CL	18	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	QUART, 2' 0"/C	\$ 3.00	\$ 54.00
EC	16	EUPATORIUM COELESTINUM	MISTFLOWER	QUART, 2' 0"/C	\$ 3.00	\$ 48.00
JE	18	JUNCUS EFFUSUS	SOFT RUSH	QUART, 2' 0"/C	\$ 3.00	\$ 54.00
LS	16	Liatris spicata	SPIKE GAY-FEATHER	QUART, 2' 0"/C	\$ 3.00	\$ 48.00
LC	16	LOBELIA CARDINALIS	CARDINAL FLOWER	QUART, 2' 0"/C	\$ 3.00	\$ 48.00
PV	18	Panicum virgatum	SWITCH GRASS	QUART, 2' 0"/C	\$ 3.00	\$ 54.00
RH	16	Rudbeckia hirta	CONEFLOWER	QUART, 2' 0"/C	\$ 3.00	\$ 48.00
SS	18	Schizachyrium scoparium	LITTLE BLUESTEM	QUART, 2' 0"/C	\$ 3.00	\$ 54.00

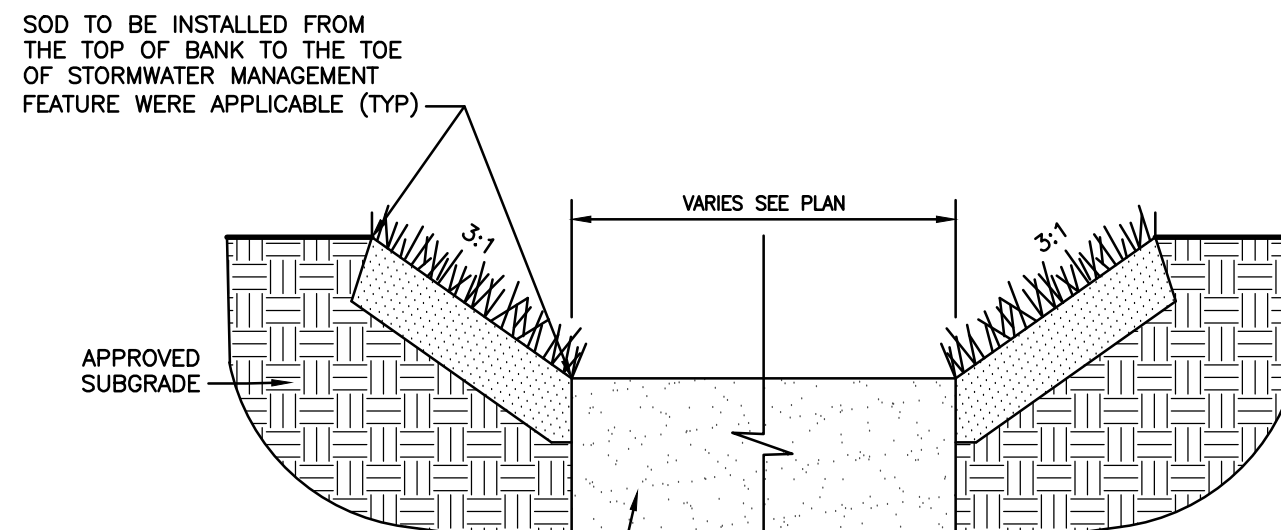
TOTAL LANDSCAPE STOCK COST THIS SHEET \$ 612.00



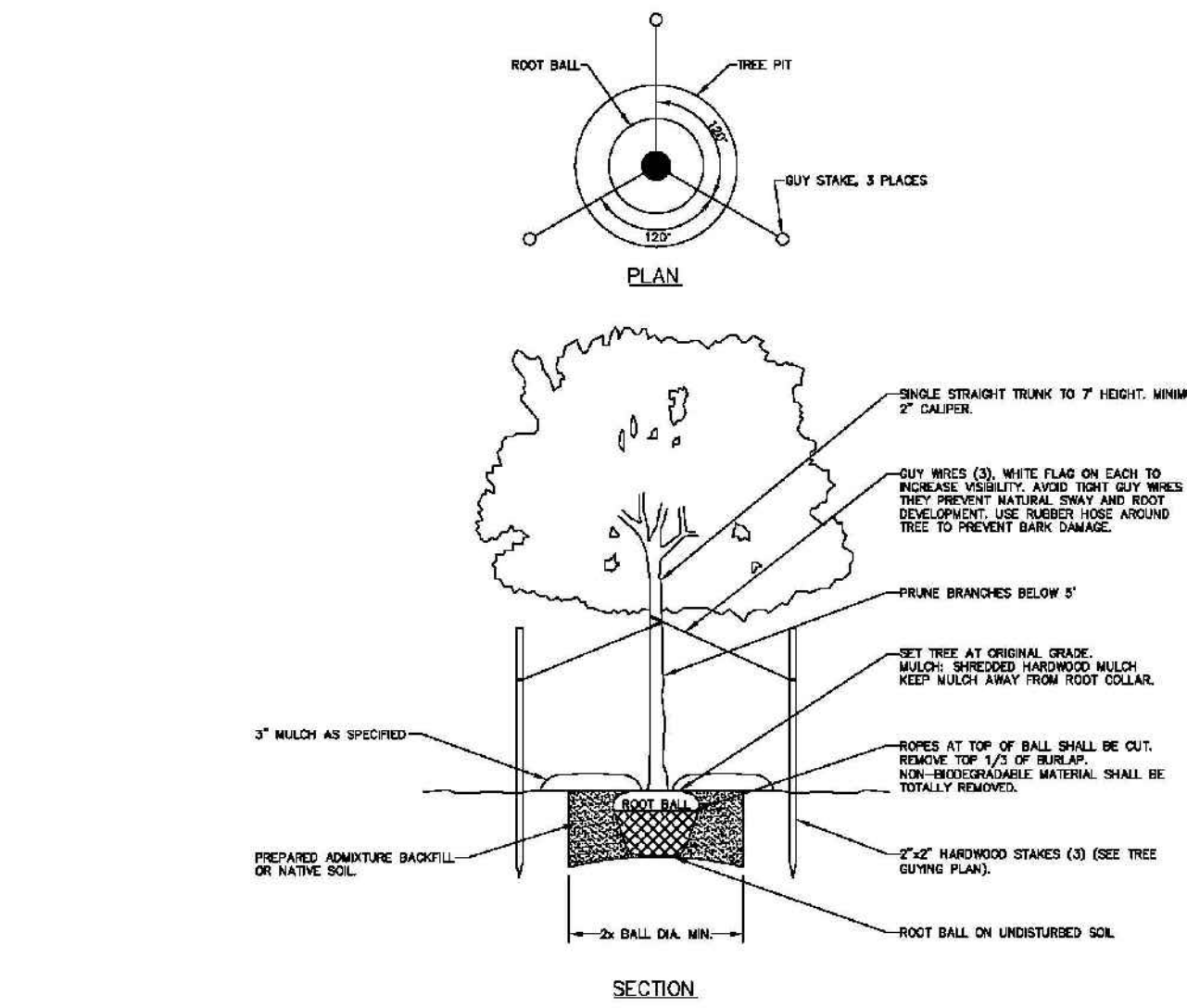
**SOD DETAIL**  
NOT TO SCALE

NOTES:

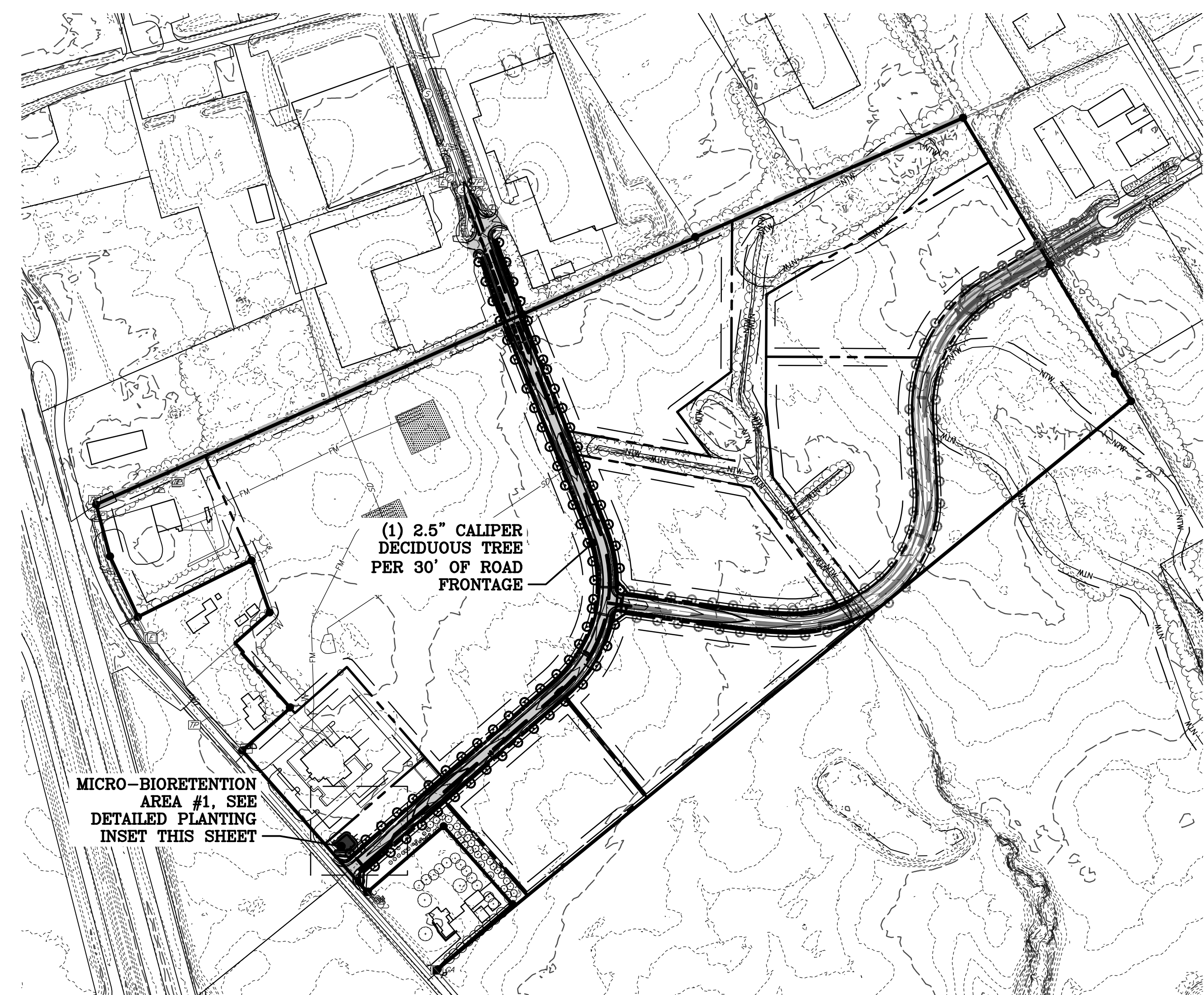
1. ALL AREAS TO BE SODDED SHALL BE FREE OF CONSTRUCTION DEBRIS, STONES, LIVING VEGETATION, ETC. ALL GRADES SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH THE DRAWINGS AND/OR APPLICABLE SPECIFICATIONS PRIOR TO INSTALLATION.
  2. SOD SHALL BE MARYLAND CERTIFIED (LABEL), INSPECTED AND APPROVED BY THE MARYLAND DEPARTMENT OF AGRICULTURE.
  3. LABEL MUST BE PRESENTED TO CONSTRUCTION MANAGER AT THE TIME OF DELIVERY AND PRIOR TO INSTALLATION FOR APPROVAL.
  4. IMMEDIATELY PRIOR TO SODDING APPLY STARTER FERTILIZER (E.G.: 10-10-10, 12-12-12, 18-46-0) AT THE RATE TO SUPPLY 10 POUNDS OF PHOSPHORUS PER 1000 SQ FT.
  5. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN 36 HOURS. HOWEVER IF HIGH TEMPERATURES AND LOW MOISTURE EXTREMES OCCUR, INSTALLATION SHOULD OCCUR WITHIN 24 HOURS OF HARVEST.
  6. DURING PERIOD OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD. NO SOD SHALL BE APPLIED TO FROZEN GROUND AND/OR FROZEN SOD IS NOT TO BE LAID.
  7. THE FIRST STRIP OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. CARE SHALL BE EXERCISED TO ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE AIR-DYING OF THE ROOTS.
  8. ON 3:1 SLOPES OR STEEPER SOD SHOULD BE INSTALLED PERPENDICULAR TO SLOPE WHEN POSSIBLE WITH STAGGERED JOINTS AND SECURED WITH STAPLES. STAPLES ARE TO BE DRIVEN FLUSH WITH SOD. SOD IN SWALES SHALL BE STAPLED. USE ONLY LENGTHS OF 4 FEET OR MORE IN DITCH INVERTS AND SWALES. SOD JOINTS SHALL BE STAGGERED. SOD SHALL BE STAPLED AT A MINIMUM OF 4 STAPLES PER SQUARE YARD OF SOD.
  9. USE OF PROPER EQUIPMENT TO PREVENT DAMAGE TO SOD OR GRADE IS ESSENTIAL.
  10. THE CONTRACTOR SHALL LIGHTLY WATER SOD DURING INSTALLATION TO PREVENT EXCESSIVE DRYING.
  11. AS SODDING IS COMPLETED IN ANY ONE SECTION, AN ENTIRE AREA SHALL BE ROLLED. (AREAS UNSAFE TO ROLL DUE TO SLOPE SHOULD NOT BE ROLLED)
  12. LIGHTLY WATER ENTIRE AREA IMMEDIATELY AFTER INSTALLATION.
  13. SATURATE SOD AND SOIL UNDER THE SOD TO A DEPTH OF 2". KEEP SATURATED FOR 21-28 DAYS, THEN SLOWLY REDUCE WATERING.
  14. AFTER THE INITIAL LIGHT WATERING AND PRIOR TO SATURATION, APPLY A PRE-EMERGENT TO CONTROL GRASSY WEEDS. REPEAT THIS PRE-EMERGENT APPLICATION IN 8 WEEKS.
- A. APPROVED ACTIVE INGREDIENTS:
1. PENDIMETHALIN
  2. DIMENSION
  3. RONSTAR
  4. SURFLAN (PREFERRED)
  5. TREFLAN
- B. 30 DAYS AFTER INSTALLATION, APPLY A SLOW RELEASE NITROGEN FERTILIZER AT THE RATE TO PROVIDE 1# OF NITROGEN PER 1000 SQ FT. WATER IMMEDIATELY TO ACTIVATE.



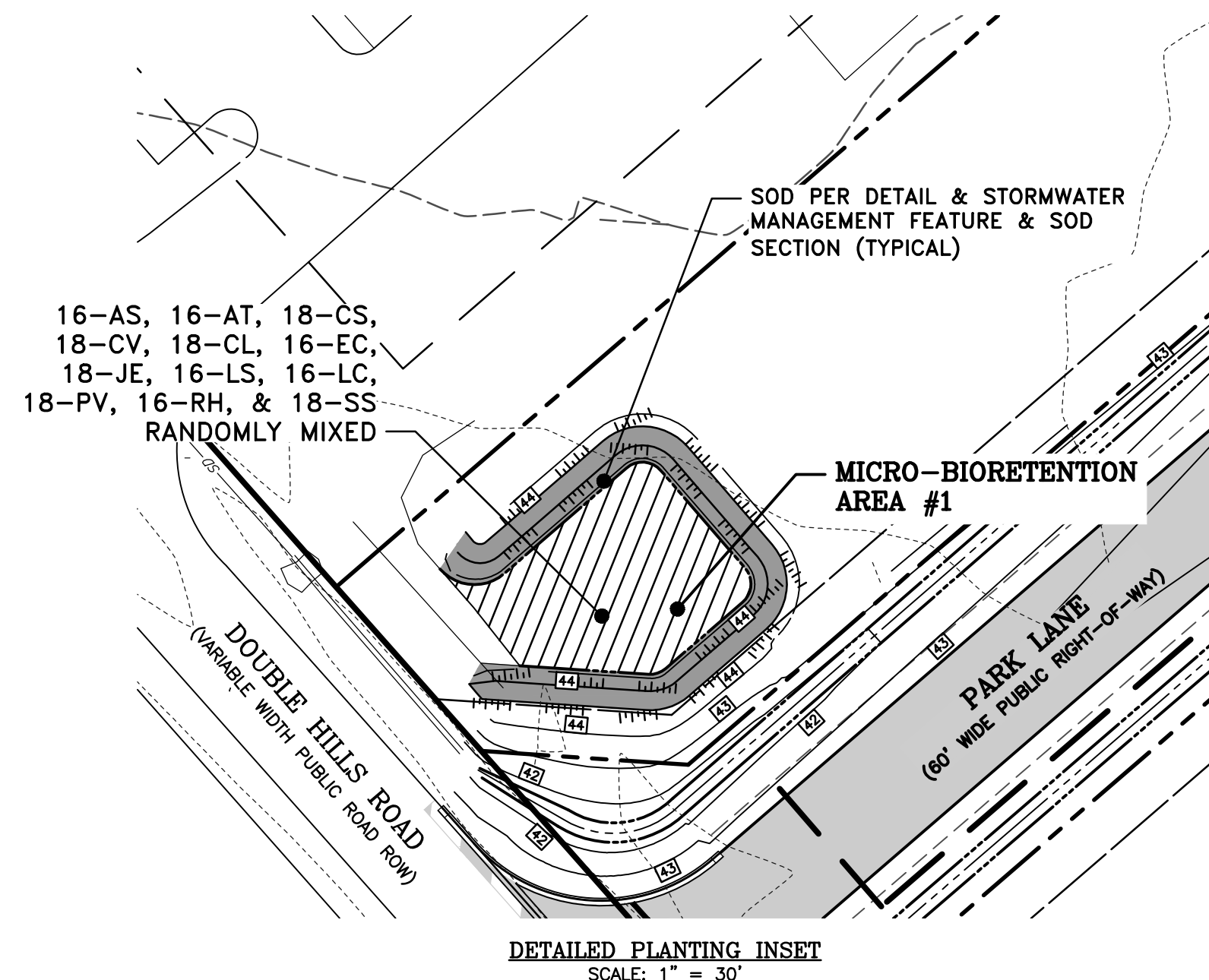
**STORMWATER MANAGEMENT FEATURE & SOD SECTION**  
NOT TO SCALE



**TREE PLANTING DETAIL**  
NOT TO SCALE



**OVERALL CONTEXT PLAN**  
SCALE: 1" = 250'



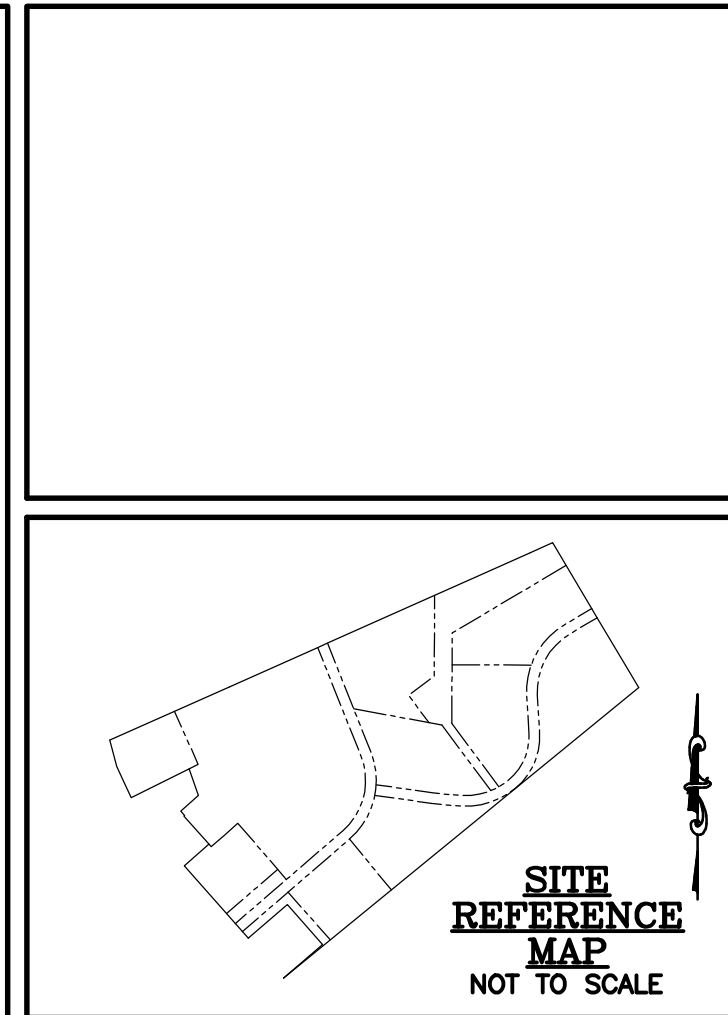
**DETAILED PLANTING INSET**  
SCALE: 1" = 30'

**LANDSCAPE COST ESTIMATE**

**LANDSCAPE STOCK**

TOTAL INSTALLED COST INCLUDES PLANT MATERIAL COSTS, INSTALLATION/LABOR COSTS, MULCH AND OTHER INSTALLATION MATERIAL COSTS AND EQUALS PLANT MATERIAL COST (\$612.00 X 3.0 MULTIPLIER): **\$1,836.00**

SURETY AMOUNT (115% OF \$1,836.00): **\$2,111.40**



**SITE REFERENCE MAP**  
NOT TO SCALE

REVISIONS TO APPROVED PLANS			
No.	DATE	DESCRIPTION	BY

**WARNING!!**  
THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.  
THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY WORK ON-SITE. THE CONTRACTOR SHALL NOTIFY DEPT. OF PUBLIC WORKS OF ANY POSSIBLE CONFLICT AND REQUEST THE RELOCATION OF THE EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION EXPENSE.



**Lane Engineering, LLC**  
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PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23152, Expiration Date: 7/5/2025.



**STORMWATER PLANTING PLAN**

**DOUBLE HILLS ROAD INDUSTRIAL PARK**

IN THE TOWN OF DENTON  
CAROLINE COUNTY, MARYLAND  
TAX MAP 108, PARCEL 64

ISSUED/REVISED FOR:	DATE:	BY:
AGENCY APPROVAL	07/25/24	TWG
CONSTRUCTION/BIDDING	09/24/24	TWG
SOD APPROVAL	11/22/24	TWG
AGENCY APPROVAL	02/03/25	TWG
AGENCY APPROVAL	07/17/25	TWG

SHEET No.	07/17/25
<b>L-101</b>	
SCALE:	JOB No. 230379
<b>AS NOTED</b>	FILE No. B562

Date: 07/17/2025 3:11pm User: bwallace Project Manager: TWG  
Drawing Path: J:\2025\0300\230379\Draw\Plots\LP-PLANTING-230379.dwg | L-101  
XREF File(s): CSP-BASE-230379/HATCH-BASE-230379/LD-BASE-230379/LD-BASE-230379/LP-BASE-230379/LP-BASE-230379/LP-BASE-HATCH-230379/LP-BASE-230379

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