

"CAMDEN LANDING"

THE LANDS OF
CAMDEN DEVELOPMENT, LLC
 TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
 CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT
 WICOMICO COUNTY, MARYLAND

COMPREHENSIVE DEVELOPMENT PLAN

DRAWING INDEX

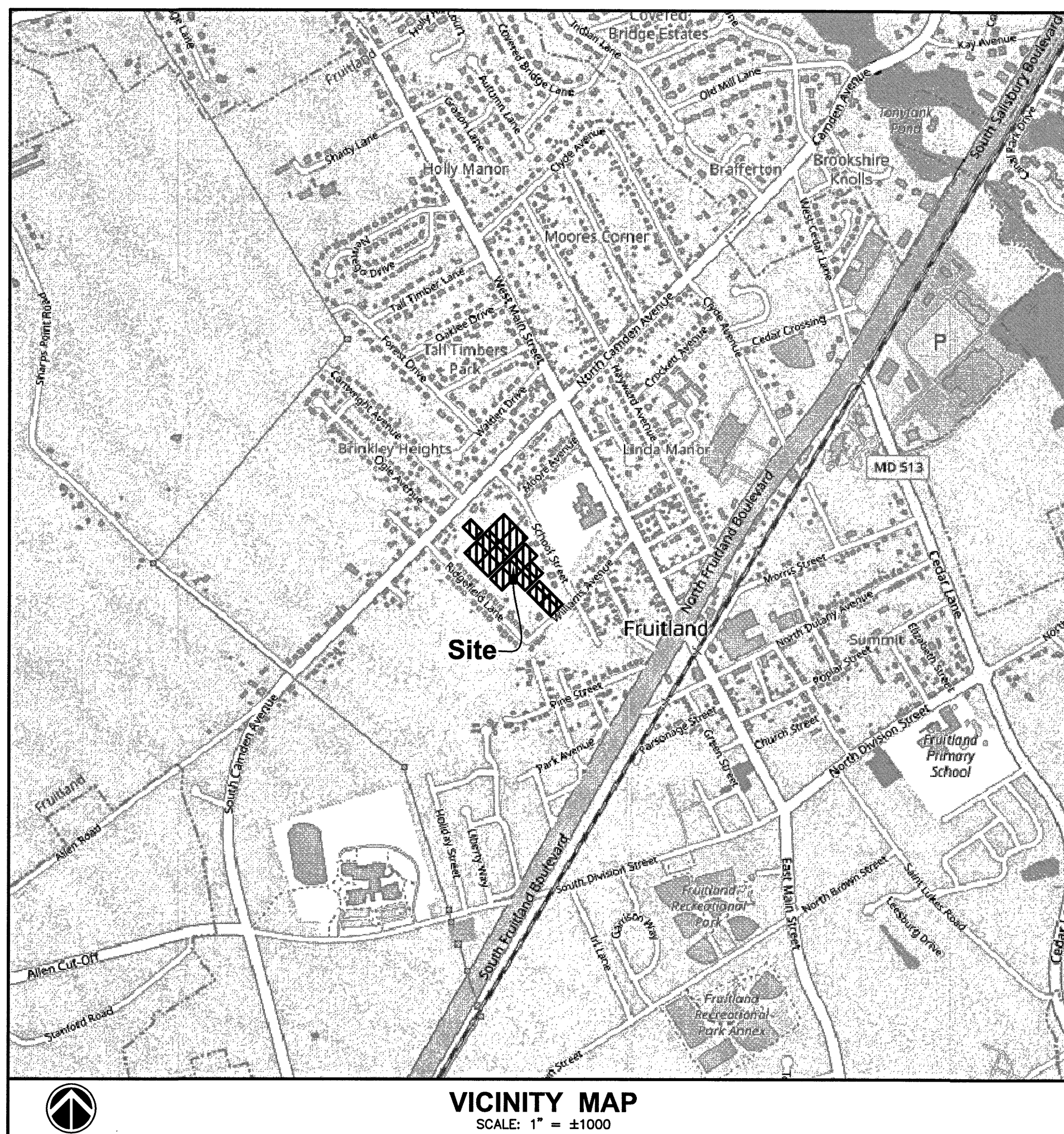
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SITE NOTES:

1. OWNER/DEVELOPER:
Camden Development, LLC
1323 Mt. Hermon Road, Suite 4B
Salisbury, MD 21804
2. Tax Map 802, Grid 12, Parcels 1123-1126, 1129-1139, 1140-1143 & 1146
3. Deed Ref.:
4. Plat Ref.: IDT 205/1
5. Zoned: F-R2
6. Current Land Use: Vacant
7. Setbacks: Front = 25'
Side = 15' + 2.5' per Unit over 2
Rear = 35'
8. Area of Block A = ±15,000 sq.ft. (±0.344 acres)
Area of Block B = ±150,000 sq.ft. (±3.444 acres)
Area of Block C = ±101,288 sq.ft. (±2.325 acres)
Area of Block D = ±45,000 sq.ft. (±1.033 acres)
Total Area = ±311,288 sq.ft. (±7.146 acres)
9. Lot Numbering:
Block A = Lot 2
Block B = Lots 3, 4, 5, 6, 7, 8, 9 & 10
Block C = Lots 11, 12, 13, 14 & 15
Block D = Lot 16 & 17
10. Total Number of Units:
Lots 2 and 16 = 2 each, 4 total
Lots 3 thru 10 = 4 each, 32 Total
Lots 11 thru 13 and 15 = 5 each, 20 total
Lot 14 = Reserved for stormwater management
Lot 17 = Reserved for stormwater management
Total = 56 Units
11. Total number of allowed bedrooms = 25 per acre = 6.630 x 25 = 165
Total number of proposed bedrooms = 140
12. Total number of parking spaces required = 1 per bedroom = 140
Total number of parking spaces provided = 140
13. By scaled map location and graphic plotting only, this property appears to lie entirely in Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for City of Fruitland, Wicomico County, MD, Community Panel No. 24045C0234E & 24045C0253E, Effective Date August 17, 2015.
14. Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not lie within the Chesapeake Bay Critical Areas.
15. Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not appear to contain any wetlands.
16. All on-site development including roads, sidewalks, curb, gutter, storm drains, stormwater management, water, sewerage facilities, etc., will be built to the Standards and Specifications for the City of Fruitland and the Wicomico County Department of Public Works.
17. Water and sewer services to be provided by the City of Fruitland.
18. GPR Management Zone A
19. Water and Sewer Designation: W-1/S-1
20. Allocated Water/Wastewater Flow = 14,000 gpd
21. The design standards utilized for development of the water and sewerage systems for this project are as follows:
 Total number of residential units = 56 units
 Minimum pipe size for sewer mains = 8" PVC, SDR 35
 Minimum slope for sewer mains = 0.4% "n" of 0.0125
 Minimum pipe size for sewer house services = 6" PVC, SDR 35
 Minimum slope for sewer house services = 2.0% "n" of 0.0125
 Minimum pipe size for combination fire/water services for each building = 1-1/2" PVC
 Minimum horizontal separation between water and sewer services is 10' with a minimum 1' vertical separation. If vertical separation is less than 1', water main has to be encased in concrete 10' on each side of pipe crossing.
 Maximum depth of water main construction shall not be more than 5'.
22. All soil erosion and sediment control shall be accomplished in accordance with the 1994 Maryland Standard and Specifications for Soil Erosion and Sediment Control in Developing Areas and the Wicomico County Soils Conservation District requirements.
23. No abstract title was provided prior to this survey.
24. This survey was based on physical evidence and current plats of record.
25. All utilities are underground or as shown on this survey.
26. Horizontal datum is MD State Plane Coordinates, NAD 83
Vertical datum is NGVD 88.

WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION NOTES

1. Wicomico County Department of Public Works must be notified in writing five (5) business days prior to commencing with construction to schedule a pre-construction meeting. Failure to do so constitutes a violation of the approved plans.
2. Wicomico County Department of Public Works reserves the right to alter these plans, during the construction phase, as field conditions may warrant.
3. No Occupancy Permit shall be issued until all improvements (roads, drainage, stormwater management, etc.) have been completed and the as-built plans have been accepted by Wicomico County Department of Public Works.
4. Approval of these plans by Wicomico County Department of Public Works is not a representation, guarantee or warranty of any kind and shall create no liability upon the County, its Officials or Employees.
5. An entrance permit shall be obtained from the Wicomico County Roads Division prior to construction of an entrance onto County maintained road.
6. All underground utilities shall be installed prior to stabilization of the roadway.
7. When required in the plans, pertaining to the construction of the Private Stormwater Management System, provide Wicomico County Public Works Engineering Department with the daily progress reports sealed by a professional engineer currently registered and licensed in Maryland. The report is to include the following as applicable: The dimension and height of the chambers/structures as well as location, size and number of chambers placed. The location, size and depth of media layers for practices shall also be included. The final approval of as-built drawings and report will be withheld until the daily progress report(s) have been accepted by the Wicomico County Public Works Engineering Department.
8. Storm drain pipes shall have water tight connections and a rubber gasket shall be provided on the pipe or inlet at pipe to inlet connections. A camera test after installation shall be provided to verify correct installation.
9. Should pre-cast structures be used, then shop drawings shall be approved by the Wicomico County Department of Public Works prior to their installation. Failure to do so constitutes a violation of the approved plans.
10. Approved plans remain valid for 2 years from the date of approval.
11. An "As-built/record" plan shall be provided to the Wicomico County Department of Public Works within thirty (30) days after completion of construction.
12. Wicomico County SWM#55-23.



CITY OF FRUITLAND
 [Signature]
 City Council President
 7/24/25
 Date

CITY OF FRUITLAND
 [Signature]
 Planning Commission Chairman
 7-22-2025
 Date

WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature]
 Approving Authority
 1 July 2025
 Date

WICOMICO COUNTY SOIL CONSERVATION DISTRICT
 [Signature]
 Approving Authority
 7/22/2025
 Date

WICOMICO COUNTY HEALTH DEPARTMENT
 This proposed subdivision of land as represented hereon and on the approved preliminary plan has been found to be in compliance with the Code of Maryland Regulations 26.04.03 allowing for the subdivision of land utilizing community water supply and community sewerage systems. This subdivision is in conformance with the current approved County Comprehensive Water and Sewer Plan therefore complies with Environmental Article 89-512. The Wicomico County Health Officer is the delegated authority per Environmental Article §1-301 therefore the Health Officer's signature on the plat certifies that the parcels shown hereon are in compliance with the pertinent laws and regulation as of the approval date.
 [Signature]
 Approving Authority
 6/26/2025
 Date

WICOMICO COUNTY FOREST CONSERVATION ACT
 This subdivision is bound by the agreements as set forth in FCA # 2007-37 and FCA # 2025-05 on file in the Planning Office
 [Signature]
 Planning Director
 7/1/25
 Date

SURVEYOR'S CERTIFICATION
 The undersigned hereby certifies that these plans have been prepared by me, or under my direct supervision and that I am a Registered Professional Land Surveyor in the State of Maryland
 [Signature]
 George E. Young, III
 Professional Land Surveyor, MD No. 10854
 Expiration Date: 04/07/2026
 JUN 24 2025
 Date

OWNER'S CERTIFICATION
 The undersigned hereby certifies that all land clearing, grading, construction and development of this project shall be done in accordance with these plans.
 As the owner of this property, I hereby certify that community water supply and sewerage facilities will be available to all lots offered for sale and that the plans to develop the community water supply and community sewerage facilities, including all necessary points of discharge, have been approved by the Department of the Environment. Further, I certify that the facilities will be maintained and operated so as to provide for a continuous and acceptable water supply or sewerage disposal service to the properties served.
 [Signature]
 6/26/25
 Date

PURPOSE STATEMENT

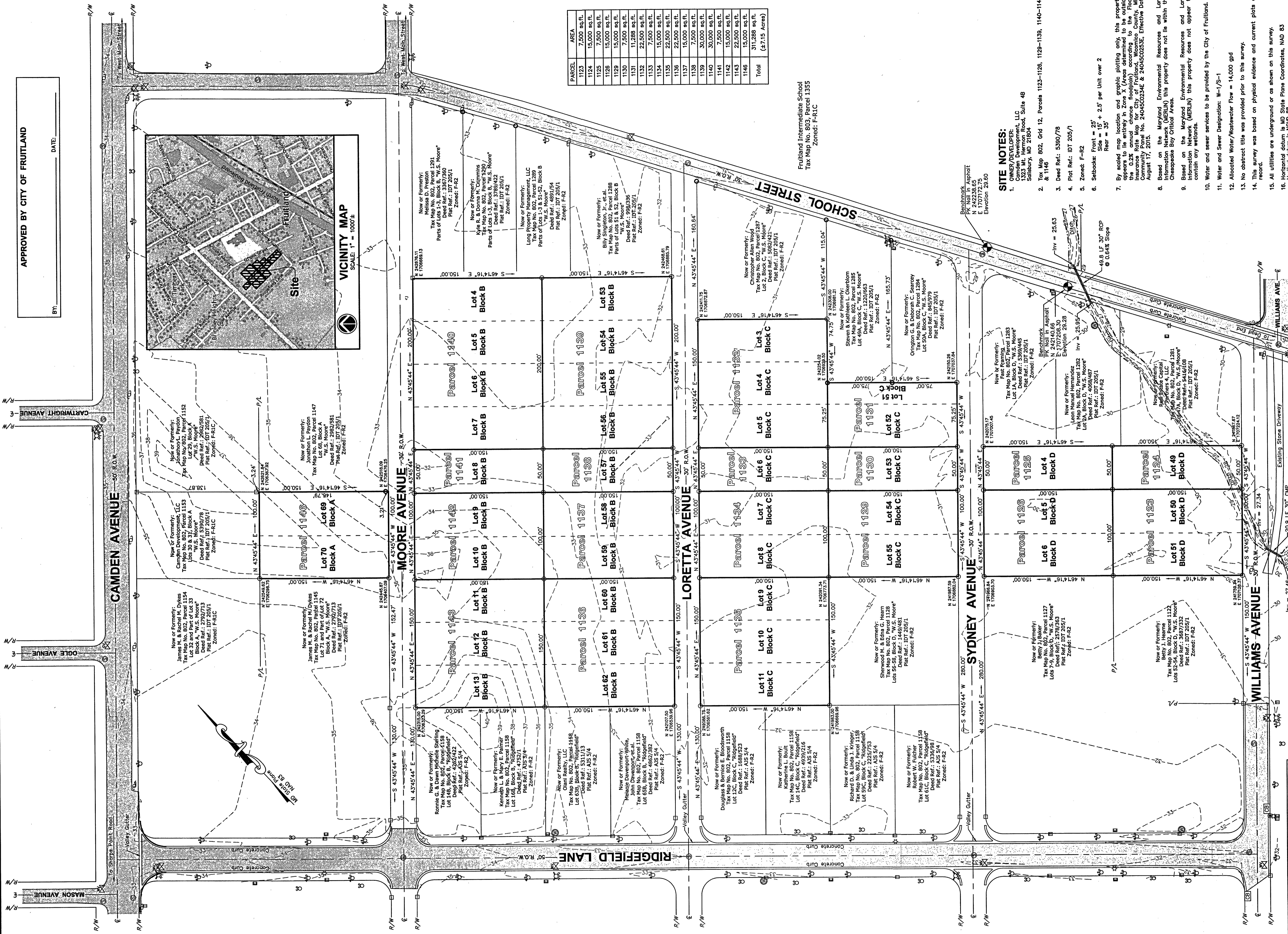
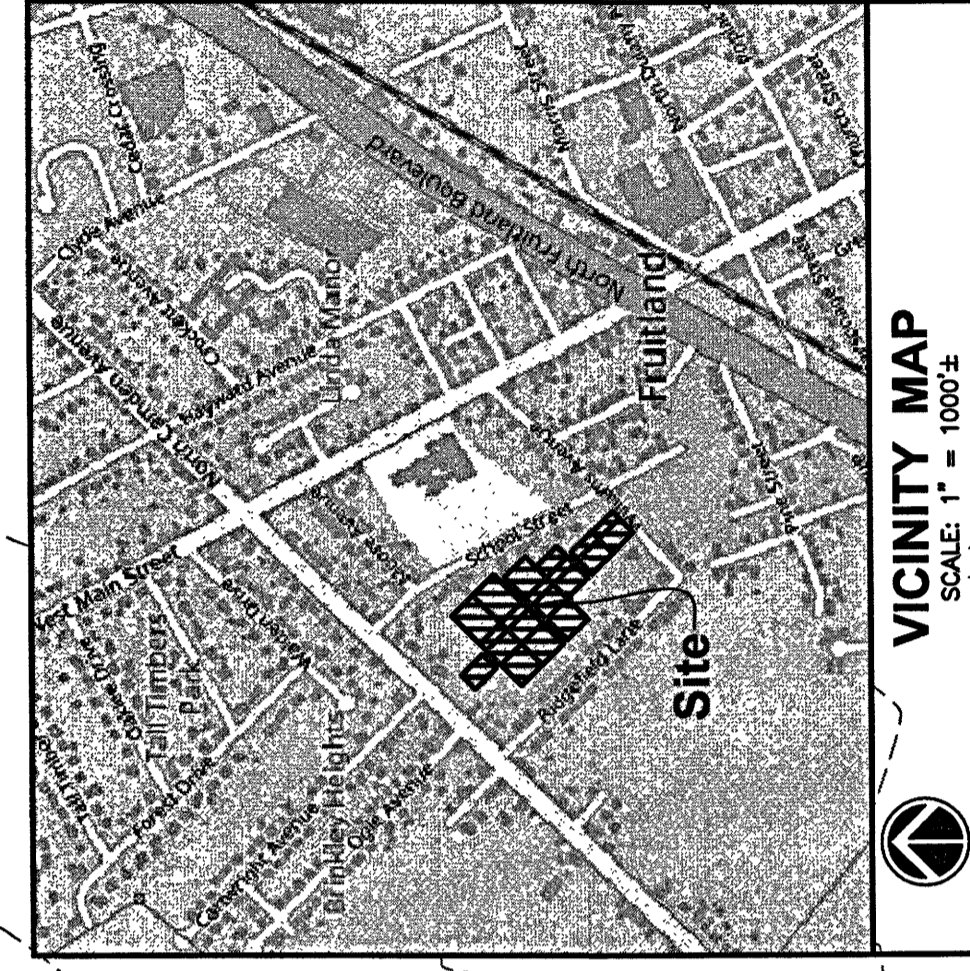
The purpose of this plan is to develop the subject property into 14 multi-family housing units with city streets and community water and sewer provided by the city of Fruitland.

Limits of Disturbance = 404,542 sq.ft. (9.29 acres)

REVISIONS: _____ _____ _____ _____ _____	GEY GEORGE E. YOUNG, III, P.C. ENGINEERS & SURVEYORS 1603 MARKET STREET POCOMOKE MARYLAND 21851 PHONE: (410)-957-2149 FAX: (410)-957-2928	SCALE: None DRAWN BY: MPB DATE DRAWN: Aug. 2022 DESIGNED BY: GEY CHECKED BY: GEY CADD DWG. NAME: M22033 Camden Landing Existing		PROJECT NUMBER M22033 SHEET OF COV-1
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APPROVED BY CITY OF FRUITLAND

BY: _____ DATE: _____



PARCEL	AREA
1123	7,500 sq./ft.
1124	15,000 sq./ft.
1125	7,500 sq./ft.
1126	15,000 sq./ft.
1129	15,000 sq./ft.
1130	7,500 sq./ft.
1131	11,288 sq./ft.
1132	22,500 sq./ft.
1133	7,500 sq./ft.
1134	15,000 sq./ft.
1135	22,500 sq./ft.
1137	15,000 sq./ft.
1138	7,500 sq./ft.
1139	30,000 sq./ft.
1141	7,500 sq./ft.
1142	15,000 sq./ft.
1143	22,500 sq./ft.
1146	15,000 sq./ft.
Total	311,288 sq./ft. (7.15 Acres)

Fruitland Intermediate School
Tax Map No. 803, Parcel 1355
Zoned: F-R1C

SITE NOTES:

- OWNER/DEVELOPER: Camden Development, LLC
Camden Development, LLC
1300 MARKET STREET
POCOCKE, MARYLAND 21851
Salisbury, MD 21804
- Tax Map 802, Grid 12, Parcels 1123-1126, 1129-1139, 1140-1143 & 149
- Deed Ref: 5390/78
- Plat Ref: IDT 205/1
- Zoned: F-R2
- Setbacks: Front = 25'
Side = 15' + 2.5' per Unit over 2'
Rear = 35'
- By scaled map location and graphic plotting only, this property appears to be entirely in Zone X (Areas determined to be outside the 0.2% Flood Hazard Zone of the City of Fruitland, Wicomico County, MD, Community Plan No. 2404-50234E & 2404-50235E, Effective Date August 17, 2015.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not lie within the Chesapeake Bay Critical Area.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not appear to contain any wetlands.
- Water and sewer services to be provided by the City of Fruitland.
- Water and Sewer Designation: W-1/S-1
- Allocated Water/Wastewater Flow = 14,000 gpd
- No abstract title was provided prior to this survey.
- This survey was based on physical evidence and current plots of record.
- All utilities are underground or as shown on this survey.
- Horizontal datum is MD State Plane Coordinates, NAD 83
- Vertical datum is NGVD 85.

LEGEND

R/W	RIGHT OF WAY LINE
—	CENTELINE OF RIGHT OF WAY
—	PROPERTY LINE
—	CONCRETE MONUMENT FOUND
—	IRON PIPE FOUND
—	PROPERTY CORNER
—	UTILITY POLE
—	ELECTRIC PEDESTAL
—	TELEPHONE PEDESTAL
—	SEWATER SEWER MANHOLE
—	WELL
—	FIRE HYDRANT
—	WATER VALVE
—	GAS VALVE
—	CATCHING BASIN
—	EXISTING CONTOURS
—	DITCH TOP OF BANK
—	EXISTING ASPHALT PAVEMENT

**EXISTING CONDITIONS PLAN
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND**

REVISIONS:

SCALE: 1" = 50'

DRAWN BY: MFR

DATE DRAWN: Aug. 2022

DESIGNED BY: GEY

CADD DWG. NAME:

PROJECT NUMBER: **M22033**

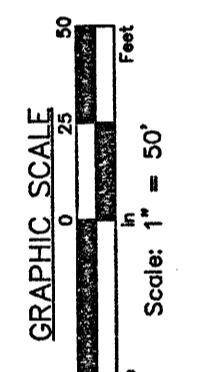
SHEET OF **EX-1**

DATE PLOTTED: 12/18/2024

PHONE: (410)-957-2149

FAX: (410)-957-2928

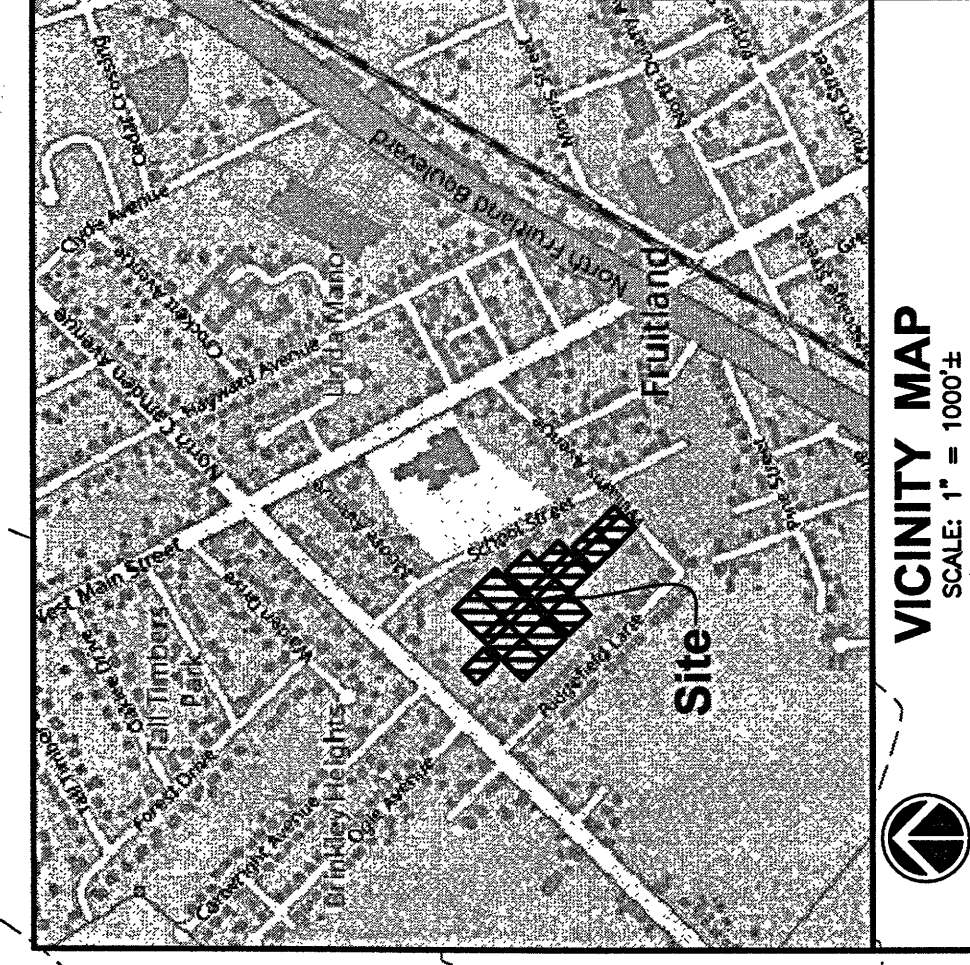
GEORGE E. YOUNG, III, P.E.
1300 MARKET STREET
POCOCKE, MARYLAND 21851



JUN 05 2025

APPROVED BY CITY OF FRUITLAND

BY: _____ DATE: _____



PARCEL	AREA
1123	7,500 sq.ft.
1124	15,000 sq.ft.
1125	7,500 sq.ft.
1126	15,000 sq.ft.
1127	15,000 sq.ft.
1128	15,000 sq.ft.
1129	15,000 sq.ft.
1130	7,500 sq.ft.
1131	11,288 sq.ft.
1132	22,500 sq.ft.
1133	7,500 sq.ft.
1134	15,000 sq.ft.
1135	22,500 sq.ft.
1136	15,000 sq.ft.
1137	15,000 sq.ft.
1138	7,500 sq.ft.
1139	30,000 sq.ft.
1140	7,500 sq.ft.
1141	7,500 sq.ft.
1142	15,000 sq.ft.
1143	22,500 sq.ft.
1146	15,000 sq.ft.
Total	311,288 sq.ft. (7.15 Acres)

Fruitland Intermediate School
Tax Map No. 802, Parcel 1355
Zoned: F-1C

SITE NOTES:

- OWNER/DEVELOPER: Camden Development, LLC
5350 Mt. Vernon Road, Suite 48
Salisbury, MD 21804
- Tax Map 802, Grid 12, Parcels 1123-1126, 1129-1139, 1140-1143 & 1146
- Deed Ref.: 5390/78
- Plot Ref.: IDT 205/1
- Zoned: F-R2
- Setbacks: Front = 25'
Side = 15' + 2.5' per Unit over 2
Rear = 35'
- By scaled map location and graphic plotting only, this property appears to lie entirely in Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Hazard Map of the City of Fruitland, Maryland, dated August 17, 2015.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not lie within the Chesapeake Bay Critical Areas.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not appear to contain any wetlands.
- Water and sewer services to be provided by the City of Fruitland.
- Water and Sewer Designation: W-1/S-1
- Allocated Water/Wastewater Flow = 14,000 gpd
- No abstract title was provided prior to this survey.
- This survey was based on physical evidence and current plats of record.
- All utilities are underground or as shown on this survey.
- Horizontal datum is MD State Plane Coordinates, NAD 83
Vertical datum is NGVD 85.

Symbol	Description
R/W	RIGHT OF WAY LINE
P/L	PROPERTY LINE
○	CONCRETE MONUMENT FOUND
●	IRON ROD FOUND
○	PROPERTY CORNER
○	UTILITY POLE
○	ELECTRIC PEDESTAL
○	TELEPHONE PEDESTAL
○	SEWER MANHOLE
○	SEWER CLEANOUT
○	WELL
○	FIRE HYDRANT
○	WATER VALVE
○	GAS VALVE
○	CATCH BASIN
○	EXISTING CONTOURS
○	DITCH TOP OF BANK
○	EXISTING ASPHALT PAVEMENT



Date Plotted: 12/19/2024

**EXISTING CONDITIONS PLAN
OF THE LANDS OF**

CAMDEN DEVELOPMENT, LLC
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND



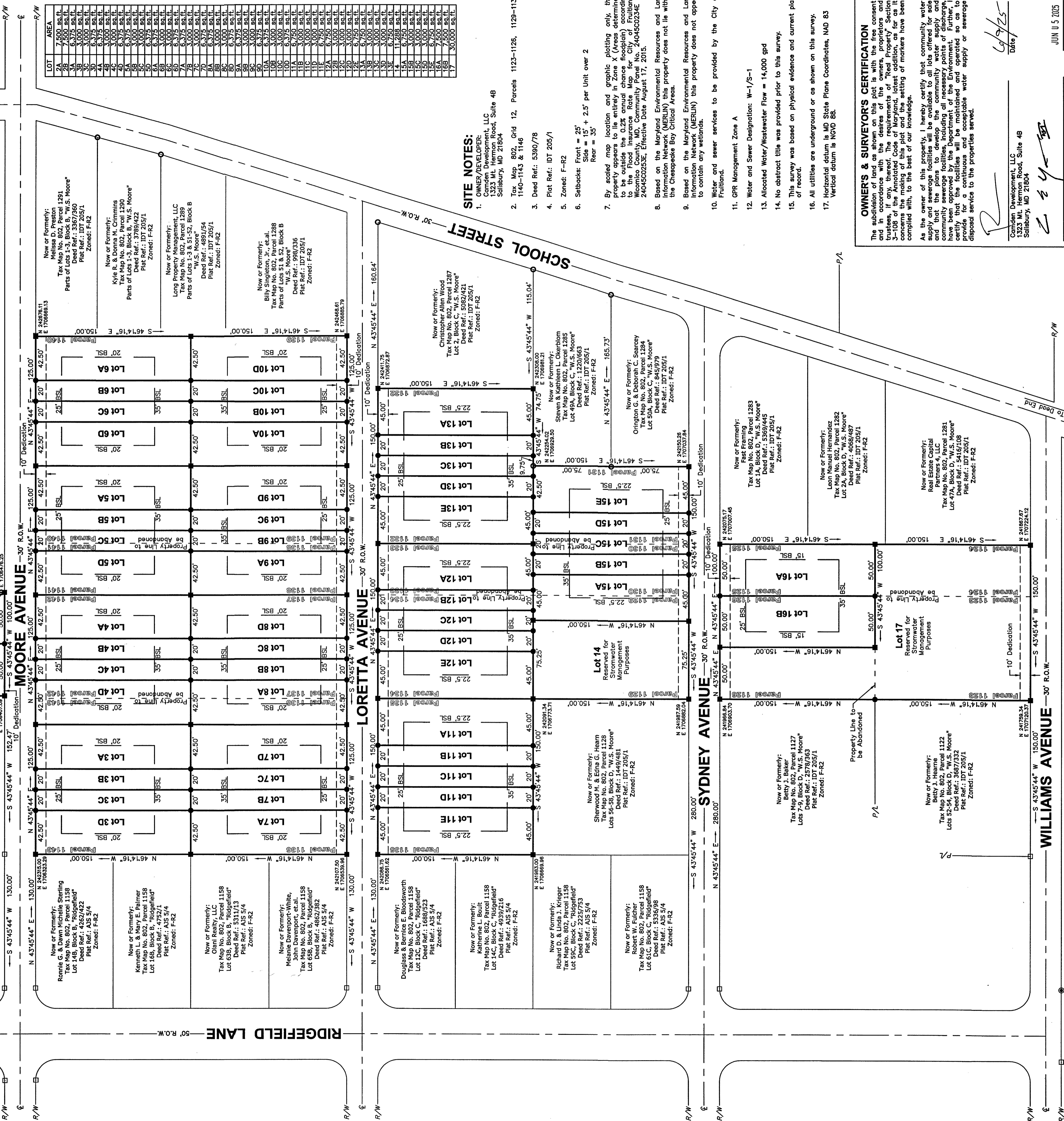
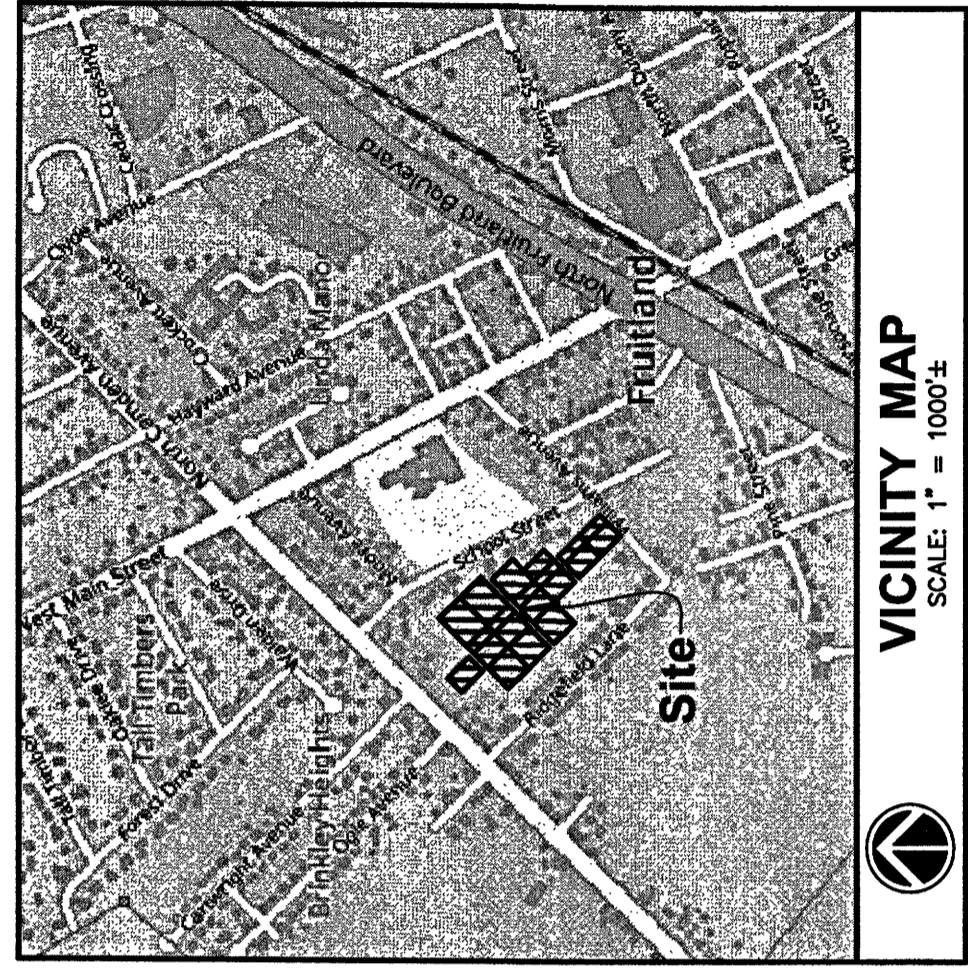
DESIGNED BY: GEY
CHECKED BY: GEY
CADD DIV. NAME:
M22033 Camden Landmark Existing



PROJECT NUMBER: M22033
SHEET OF: EX-1

JUN 05 2025

WICOMICO COUNTY FOREST CONSERVATION ACT
 Any disturbance of land or change of ownership within 5 years of the recording of this plat or future subdivision activity on this parcel may be subject to the REF. FCA # 2007-37 & 2025-05



SITE NOTES:
 1. OWNER REVEALS: Camden Development, LLC, 1323 Mt. Harmon Road, Suite 48, Salisbury, MD 21804
 2. Tax Map 802, Grid 12, Parcels 1123-1126, 1128-1130, 1140-1143 & 1146
 3. Dead Ref.: 5390/78
 4. Plat Ref.: DT 205/1
 5. Zoned: F-R2
 6. Substrate: Front = 25', Side = 15', Rear = 35', 2.5' per unit over 2
 7. By staked map location and graphic plotting only, this property appears to lie entirely in Zone X (Area determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for City of Fruitland, 24042025Z, Effective Date August 17, 2015.
 8. Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not appear to contain any wetlands.
 9. Water and sewer services to be provided by the City of Fruitland.
 10. GPR Management Zone A
 11. Water and Sewer Designation: W-1/S-1
 12. Allocated Water/Wastewater Flow = 14,000 gpd
 13. No abstract title was provided prior to this survey.
 14. This survey was based on physical evidence and current plats of record.
 15. All utilities are underground or as shown on this survey.
 16. Vertical datum is MD State Plane Coordinates, NAD 83
 17. Vertical datum is NAD 83

OWNER'S & SURVEYOR'S CERTIFICATION
 The subdivision as shown on this plat is with the free consent of the owner, and the requirements of "Real Property" Section 3-105 of the Annotated Code of Maryland, latest edition, as far as it applies to the subdivision of land, and the requirements of the Code of Professional Conduct for Professional Land Surveyors, as far as it applies to the subdivision of land, have been complied with, to the best of our knowledge.
 As the owner of this property, I hereby certify that I am the owner of the property and that I have the authority to execute this plat and that the plans to develop the community water supply and community sewerage facilities, including all necessary points of discharge, are in accordance with the applicable laws and regulations of the State of Maryland. I certify that the facilities will be maintained and operated as to provide for a continuous and acceptable water supply and sewerage disposal service to the properties shown on this plat.
 As the owner of this property, I hereby certify that I am the owner of the property and that I have the authority to execute this plat and that the plans to develop the community water supply and community sewerage facilities, including all necessary points of discharge, are in accordance with the applicable laws and regulations of the State of Maryland. I certify that the facilities will be maintained and operated as to provide for a continuous and acceptable water supply and sewerage disposal service to the properties shown on this plat.
 Date: JUN 15 2025
 Signature: [Signature]
 Camden Development, LLC
 1323 Mt. Harmon Road, Suite 48
 Salisbury, MD 21804
 SURVEYOR:
 George E. Young, III
 Professional Land Surveyor, MD No. 10854
 Expiration Date: 04/07/2028

SUBDIVISION PLAT
 OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
 TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
 CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:

SCALE: 1" = 50'
 DRAWN BY: MPB
 DATE DRAWN: Aug. 2022
 CHECKED BY: GEY
 CADD DWG. NAME: M22033 SUB-1

PROJECT NUMBER: M22033
 SHEET OF: SUB-1

DATE PLOTTED: 6/8/2025

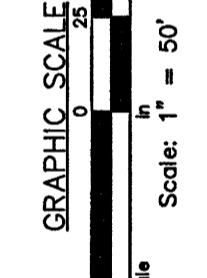
WICOMICO COUNTY HEALTH DEPARTMENT
 This proposed subdivision of land as represented hereon and on the approved preliminary plan has been found to be in compliance with the Code of Maryland Regulations 26.04.03 allowing for the subdivision of land utilizing community water supply and sewerage facilities. This subdivision is in conformance with the current approved County Comprehensive Water and Sewer Plan therefore complies with Environmental Article 89-512. The Wicomico County Health Officer, on the signature on this plat certifies that the parcels shown hereon are in compliance with the pertinent laws and regulations as of the approval date.

Approving Authority: [Signature]
 Date: 6-9-2025

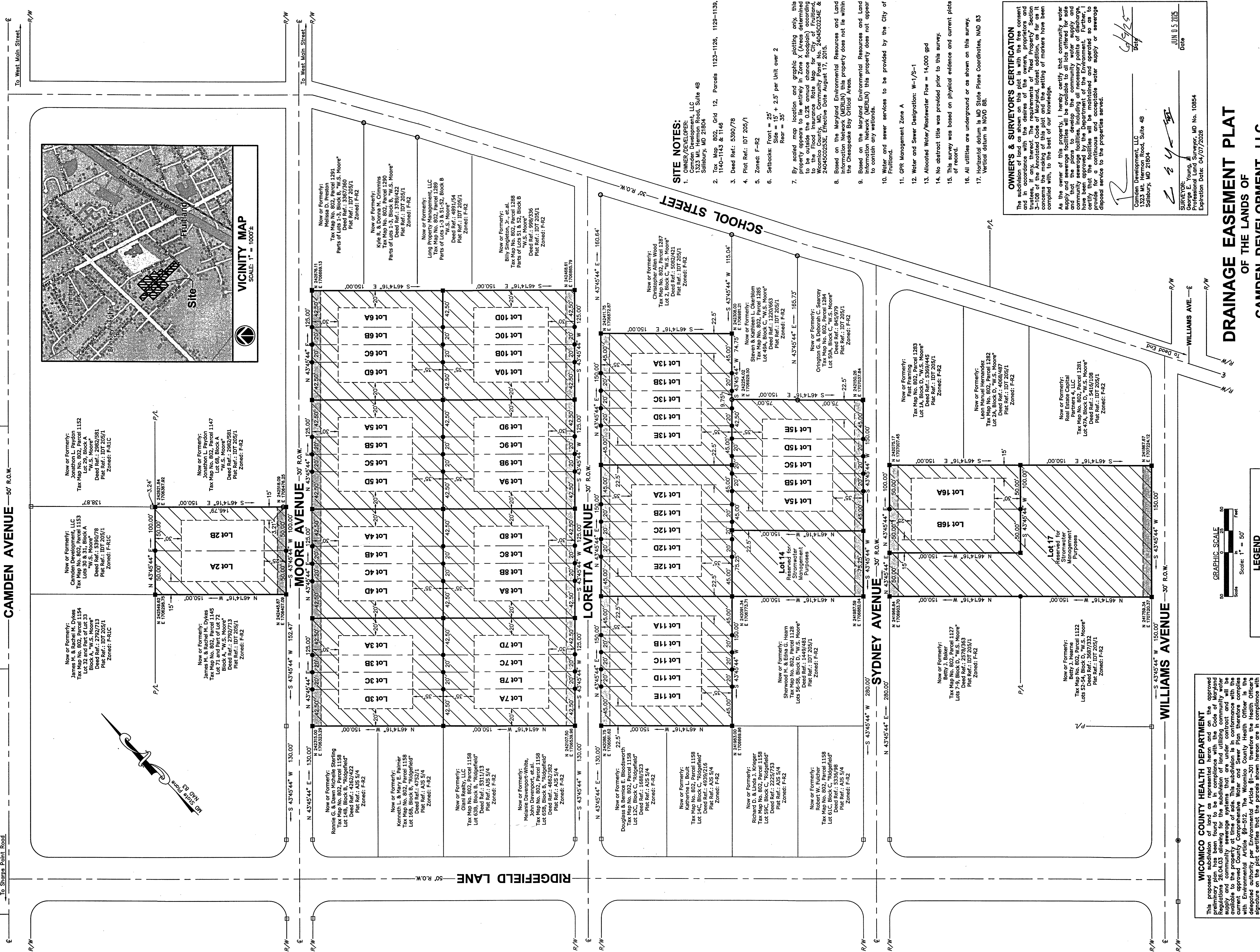
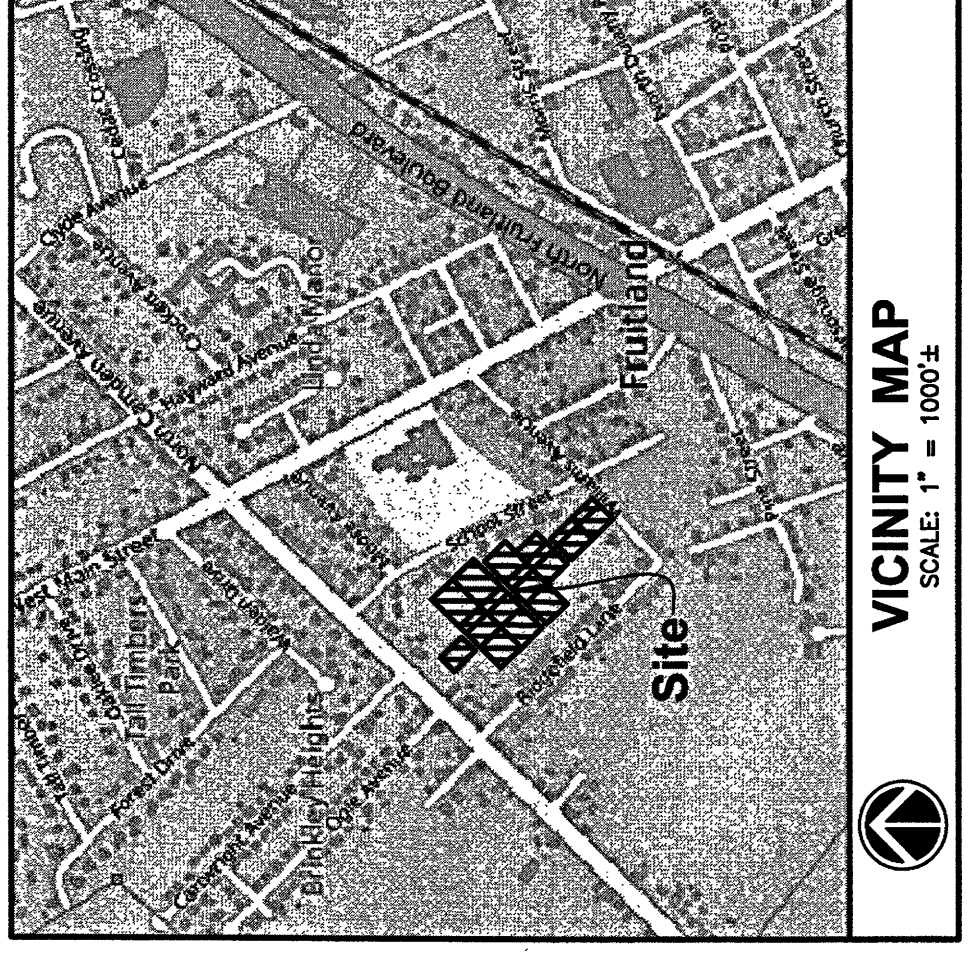
APPROVED BY CITY OF FRUITLAND

BY: _____ DATE: _____

- LEGEND**
- R/W - RIGHT OF WAY LINE
 - CL - CENTERLINE OF RIGHT OF WAY
 - P/L - PROPERTY LINE
 - - CONCRETE MONUMENT FOUND
 - - IRON ROD FOUND
 - - CONCRETE MONUMENT SET
 - - IRON ROD w/ CAP SET



WICOMICO COUNTY FOREST CONSERVATION ACT
 Any district or lot of land on which the siting of this plat, or future subdivision activity on this parcel may be subject to the Wicomico County Forest Conservation Act as applicable.
 REF: FCA # 2007-37 & 2020-05



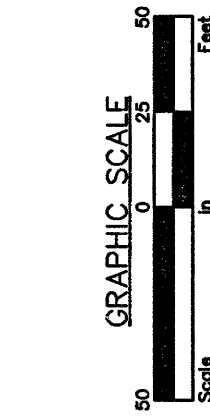
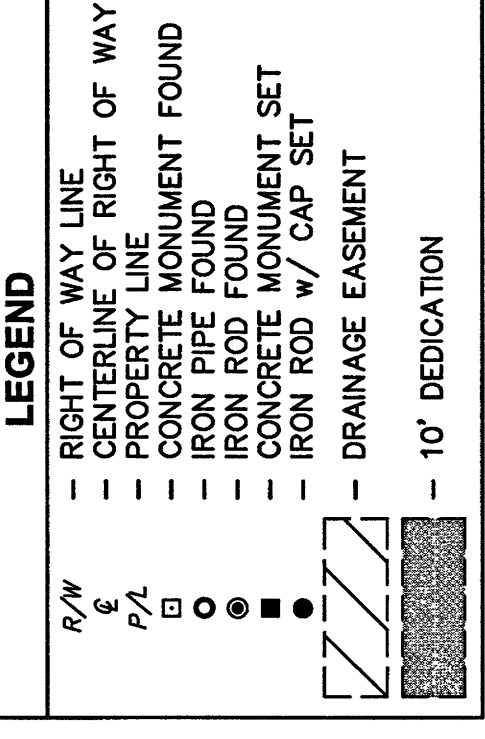
SITE NOTES:

- OWNER/DEVELOPER: Camden Development, LLC, 1323 Mt. Vernon Road, Suite 48 Salisbury, MD 21804
- Tax Map 802, Grid 12, Parcels 1123-1126, 1129-1139, 1140-1143 & 1146
- Deed Ref.: 5390/78
- Plat Ref.: DT 205/1
- Zoned: F-R2
- Setbacks: Front = 25' + 2.5' per Unit over 2
Side = 15' + 2.5' per Unit over 2
Rear = 35'
- By scaled map location and graphic plotting only, this property appears to lie entirely in Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to the Wicomico County Flood Hazard Map, Wicomico County, MD, Community Panel No. 2404C0253E, Effective Date August 17, 2015.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not lie within the Chesapeake Bay Critical Areas.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not appear to contain any wetlands.
- Water and sewer services to be provided by the City of Fruitland.
- GPR Management Zone A
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- Allocated Water/Wastewater Flow = 14,000 gpd
- No abstract title was provided prior to this survey.
- This survey was based on physical evidence and current plats of record.
- All utilities are underground or as shown on this survey.
- Horizontal datum is MD State Plane Coordinates, MDS 83
- Vertical datum is NGVD 88.

OWNERS' & SURVEYOR'S CERTIFICATION
 The subsidence of the land on this plat is with the consent and in accordance with the desires of the owners, proprietors and trustees, if any, thereof. The requirements of "Read Property Section" of the Maryland Code, Article 21, § 2-101, are hereby acknowledged and complied with, to the best of our knowledge.
 As the owner of this property, I hereby certify that community water supply and sewerage facilities will be available to all lots offered for sale and that the plans to develop the community water supply and sewerage facilities have been approved by the Department of the Environment. Further, I certify that the facilities will be maintained and operated so as to provide for continuous water supply and sewerage service to the properties shown.

Camden Development, LLC
 1323 Mt. Vernon Road, Suite 48
 Salisbury, MD 21804
 Date: JUN 05 2025
 SURVEYOR:
 George E. Young, III
 Professional Surveyor, No. 10884
 Expiration Date: 09/07/2028

DRAINAGE EASEMENT PLAT
 OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
 TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
 CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND



WICOMICO COUNTY HEALTH DEPARTMENT
 This proposed subdivision of land as represented herein and on the approved preliminary plan has been found to be in compliance with the Code of Maryland Regulations 26.04.03 allowing for the subdivision of land utilizing community water available to the property at time of sale. This subdivision is in conformance with the current approved County Comprehensive Water and Sewer Plan, therefore complies with Environmental Article 88-512. The Wicomico County Health Officer, by signature on the plat certifies that the parcels shown herein are in compliance with the pertinent laws and regulations as of the approval date.

Approving Authority: _____ Date: 6-9-25
 APPROVED BY CITY OF FRUITLAND

BY: _____ DATE: _____

REVISIONS: _____

SCALE: 1" = 50'

DRAWN BY: MPB DATE DRAWN: Aug. 2022

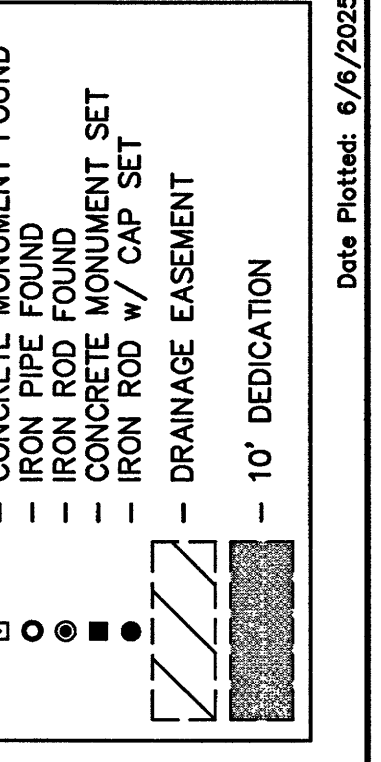
DESIGNED BY: GEY

CADD DWG. NAME: M22033

PROJECT NUMBER: M22033

SHEET OF DEP-1

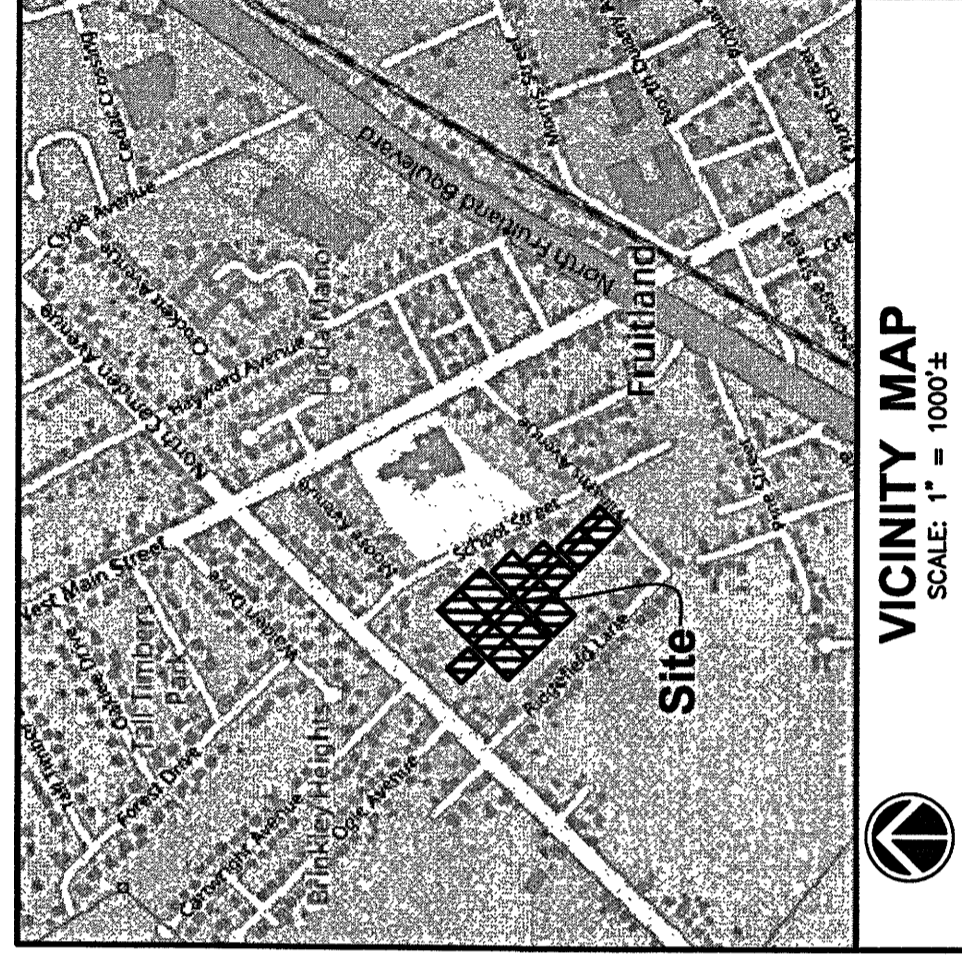
ENGINEERS & SURVEYORS
 GEORGE E. YOUNG, III, P.C.
 1603 MARKET STREET
 POCOMOC MARYLAND 21851
 PHONE: (410)-857-2149
 FAX: (410)-857-2928



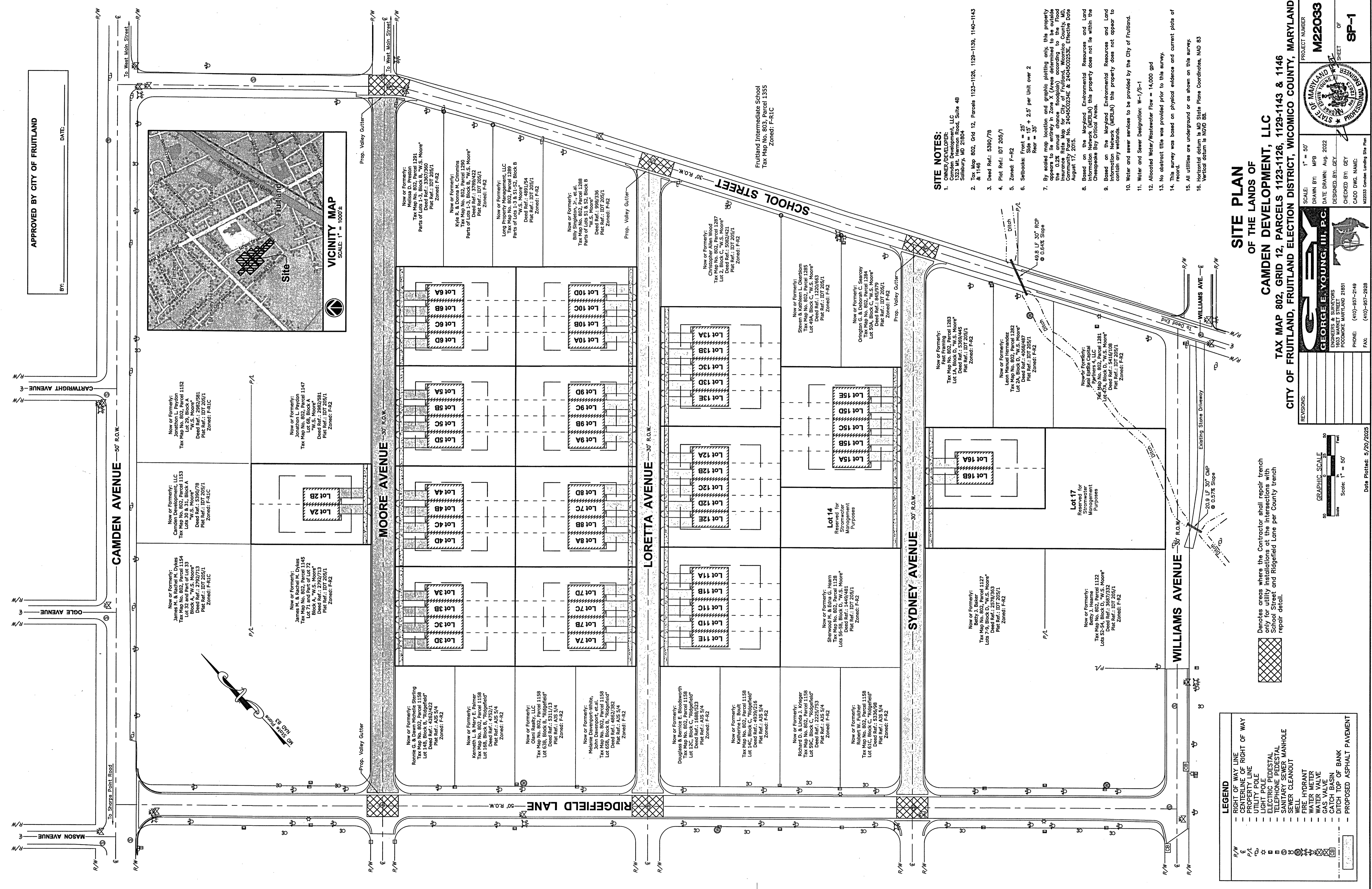
Date Plotted: 6/6/2025

APPROVED BY CITY OF FRUITLAND

BY: _____ DATE: _____



VICINITY MAP SCALE: 1" = 1000'



SITE NOTES:

- OWNER/DEVELOPER: Camden Development, LLC, 1323 Mt. Hermon Road, Suite 48, Solisbury, MD 21804
- Tax Map 802, Grid 12, Parcels 1123-1126, 1129-1139, 1140-1143 & 1146
- Deed Ref.: 5390/78
- Plat Ref.: DT 205/1
- Zoned: F-R2
- Setbacks: Front = 25' Rear = 35'
- By scaled map location and graphic plotting only, this property is shown to be within the 0.2% annual chance floodplain according to the Flood Insurance Rate Map for City of Fruitland, Wicomico County, MD, Community Panel No. 240450234E & 240450235E, Effective Date August 17, 2015.
- Based on the Maryland Environmental Resources and Land Information System (MELIS), this property does not lie within the Chesapeake Bay Critical Area.
- Based on the Maryland Environmental Resources and Land Information System (MELIS), this property does not appear to contain any wetlands.
- Water and sewer services to be provided by the City of Fruitland.
- Water and Sewer Designation: W-1/S-1
- Allocated Water/Wastewater Flow = 14,000 gpd
- No abstract title was provided prior to this survey.
- This survey was based on physical evidence and current plats of record.
- All utilities are underground or as shown on this survey.
- Horizontal datum is MD State Plane Coordinates, NAD 83
- Vertical datum is NGD 88.

LEGEND

- RIGHT OF WAY LINE
- CENTERLINE OF RIGHT OF WAY
- PROPERTY LINE
- LIGHT POLE
- ELECTRIC PEDESTAL
- TELEPHONE PEDESTAL
- SANITARY SEWER MANHOLE
- SEWER CLEANOUT
- WELL
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- CATCH BASIN
- DITCH TOP OF BANK
- PROPOSED ASPHALT PAVEMENT

Denotes areas where the Contractor shall repair trench only for utility installations at the intersections with School Street and Ridgefield Lane per County trench repair detail.

SITE PLAN OF THE LANDS OF

CAMDEN DEVELOPMENT, LLC

TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146

CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:

DATE: 5/20/2023

SCALE: 1" = 50'

DRAWN BY: MPB

DATE DRAWN: Aug. 2022

DESIGNED BY: GEY

CHECKED BY: GEY

CADD DWG. NAME: M22033

PROJECT NUMBER: M22033

SHEET OF: 8P-1

STATE OF MARYLAND PROFESSIONAL SURVEYOR

GEORGE E. YOUNG, III, P.C.

REGISTERED PROFESSIONAL SURVEYOR

1803 MARKET STREET

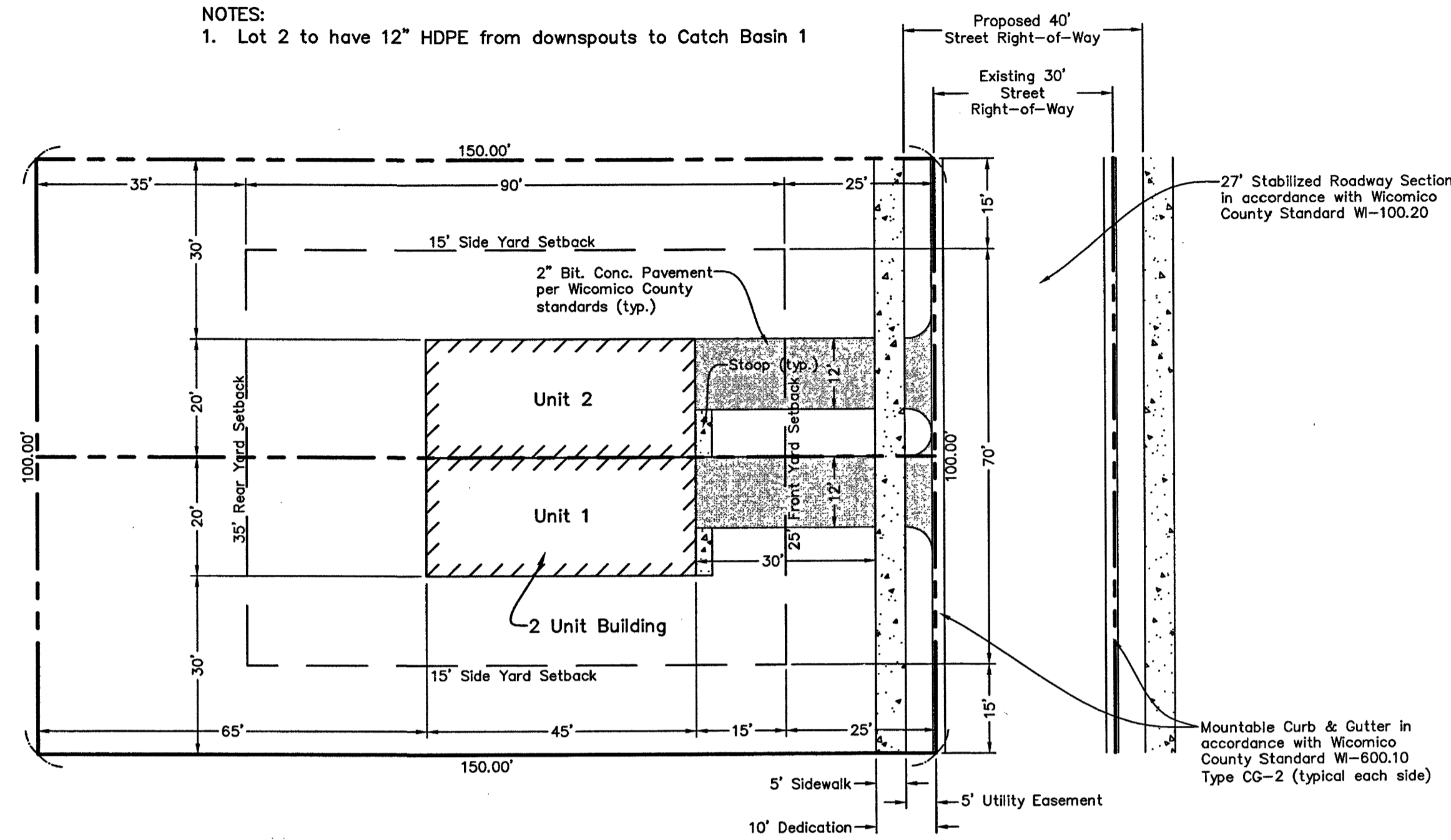
POCOMOKE MARYLAND 21851

PHONE: (410)-957-2149

FAX: (410)-957-2928

NOTES:

1. Lot 2 to have 12" HDPE from downspouts to Catch Basin 1



**PLAN "A" PRELIMINARY SITE LAYOUT
TYPICAL 2 UNIT BUILDING (2 BEDROOMS EACH)**
Scale: 1" = 20'

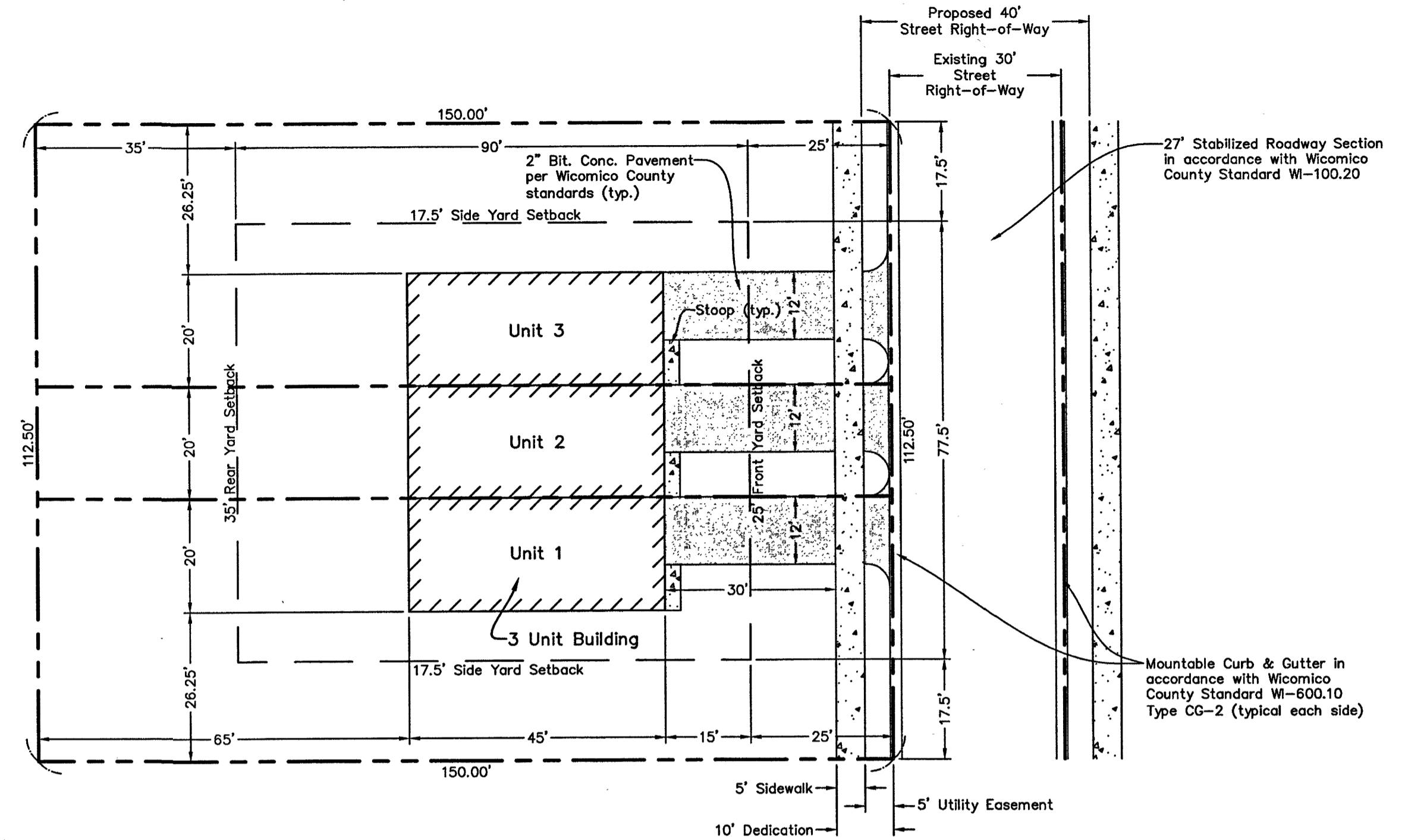
PLAN A DEVELOPMENT NOTES

STANDARDS AND PERMITTED USES:

1. Lot is zoned as F-R2, Multiple-Family Residential.
2. Permitted uses are:
All uses permitted in F-R1C Districts, minimum 10,000 sq.ft. lot
Two family dwelling, minimum 12,000 sq.ft. lot
Three family dwelling unit, minimum 15,000 sq.ft. lot
Four family dwelling unit, minimum 17,000 sq.ft. lot
Five family dwelling unit, minimum 19,000 sq.ft. lot
Townhouses not exceeding five dwelling units in one group, minimum 19,000 sq.ft. lot
3. Building heights not to exceed 35 feet of two and one-half stories.
4. Lot width not less than 75 feet and increases 15 feet for each dwelling unit more than two.
5. Lot depth shall be a minimum of 125 feet.
6. Building lot coverage not more than 30% of lot area including accessory buildings and patios.
7. Front yard setback of not less than 25 feet.
8. Side yard setback of not less than 15' plus 2.5 feet for each dwelling unit over two.
9. Rear yard setback not less than 35 feet.
10. Living area shall be not less than 690 sq.ft. for one bedroom, 815 sq.ft. for two bedroom and 975 sq.ft. for a three bedroom building.
11. Density shall not be more than 25 bedrooms per acre.
12. Parking provided shall not be less than one per bedroom.

ACTUAL LOT DEVELOPMENT:

1. Area of 2 Unit Lot = 15,000 sq.ft.
2. Lot Width = 100'
3. Lot Depth = 140' (from back of sidewalk)
4. Front Yard = 30' (from back of sidewalk)
5. Side Yard = 30'
6. Rear Yard = 65'
7. Building Height = ±32'
8. Unit Area = 1800 sq.ft. (2 stories, 900 sq.ft. each)
9. Building ground floor plus stoop is 1844 sq.ft. Lot coverage is (1844/15000) x 100 = 12.3%
10. Building has 3 bedrooms per unit for a total of 6 bedrooms. Allowable is (15000/43560) x 25 = 8.6 bedrooms
11. Parking required is 6. Parking provided is 4. Units with garages will have 1 space in the garage and 1 in the driveway. Units without garages will be pushed back 10' to provide 2 parking spaces in the driveway.



**PLAN "B" PRELIMINARY SITE LAYOUT
TYPICAL 3 UNIT BUILDING (2 BEDROOMS EACH)**
Scale: 1" = 20'

PLAN B DEVELOPMENT NOTES

STANDARDS AND PERMITTED USES:

1. Lot is zoned as F-R2, Multiple-Family Residential.
2. Permitted uses are:
All uses permitted in F-R1C Districts, minimum 10,000 sq.ft. lot
Two family dwelling, minimum 12,000 sq.ft. lot
Three family dwelling unit, minimum 15,000 sq.ft. lot
Four family dwelling unit, minimum 17,000 sq.ft. lot
Five family dwelling unit, minimum 19,000 sq.ft. lot
Townhouses not exceeding five dwelling units in one group, minimum 19,000 sq.ft. lot
3. Building heights not to exceed 35 feet of two and one-half stories.
4. Lot width not less than 75 feet and increases 15 feet for each dwelling unit more than two.
5. Lot depth shall be a minimum of 125 feet.
6. Building lot coverage not more than 30% of lot area including accessory buildings and patios.
7. Front yard setback of not less than 25 feet.
8. Side yard setback of not less than 15' plus 2.5 feet for each dwelling unit over two.
9. Rear yard setback not less than 35 feet.
10. Living area shall be not less than 690 sq.ft. for one bedroom, 815 sq.ft. for two bedroom and 975 sq.ft. for a three bedroom building.
11. Density shall not be more than 25 bedrooms per acre.
12. Parking provided shall not be less than one per bedroom.

ACTUAL LOT DEVELOPMENT:

1. Area of 3 Unit Lot = 16,875 sq.ft.
2. Lot Width = 112.50'
3. Lot Depth = 140' (from back of sidewalk)
4. Front Yard = 30' (from back of sidewalk)
5. Side Yard = 26.25'
6. Rear Yard = 65'
7. Building Height = ±32'
8. Unit Area = 1800 sq.ft. (2 stories, 900 sq.ft. each)
9. Building ground floor plus patio and stoop is 2766 sq.ft. Lot coverage is (2766/16875) x 100 = 16.4%
10. Building has 3 bedrooms per unit for a total of 9 bedrooms. Allowable is (16875/43560) x 25 = 9.7 bedrooms
11. Parking required is 9. Parking provided is 6. Units with garages will have 1 space in the garage and 1 in the driveway. Units without garages will be pushed back 10' to provide 2 parking spaces in the driveway.

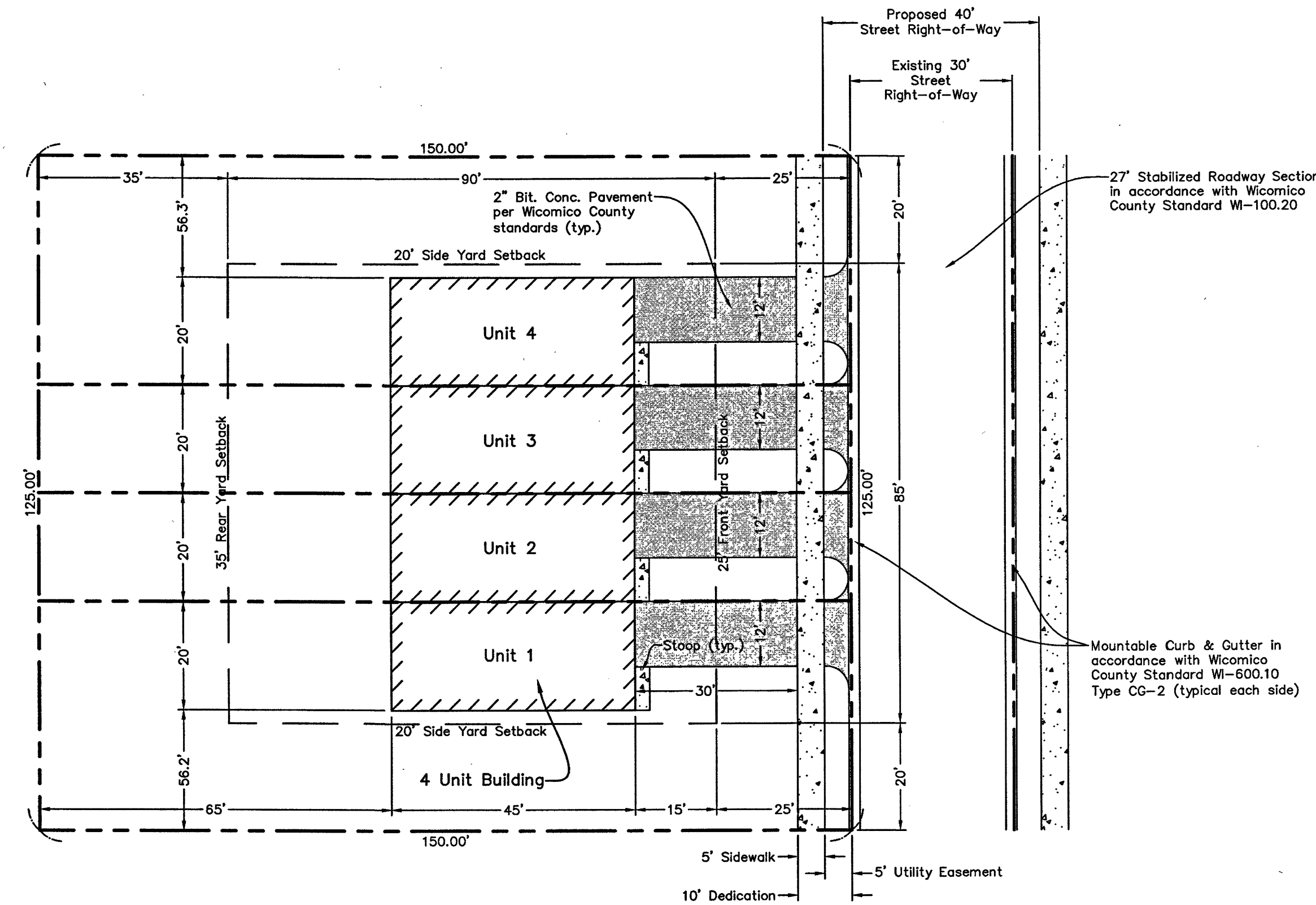
**TYPICAL BUILDING LAYOUT, 2 & 3 UNIT
FOR THE LANDS OF
CAMDEN DEVELOPMENT, LLC**

TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:		SCALE: 1" = 20'		PROJECT NUMBER
		DRAWN BY: MPB		M22033
		DATE DRAWN: Aug. 2022		SHEET OF
		DESIGNED BY: GEY		SP-2
		CHECKED BY: GEY		
		CADD DWG. NAME:		
		M22033 Camden Landing Site Plan		

Date Plotted: 12/18/2024

JUN 05 2025



**PLAN "C" PRELIMINARY SITE LAYOUT
TYPICAL 4 UNIT BUILDING (2 BEDROOMS EACH)**
Scale: 1" = 20'

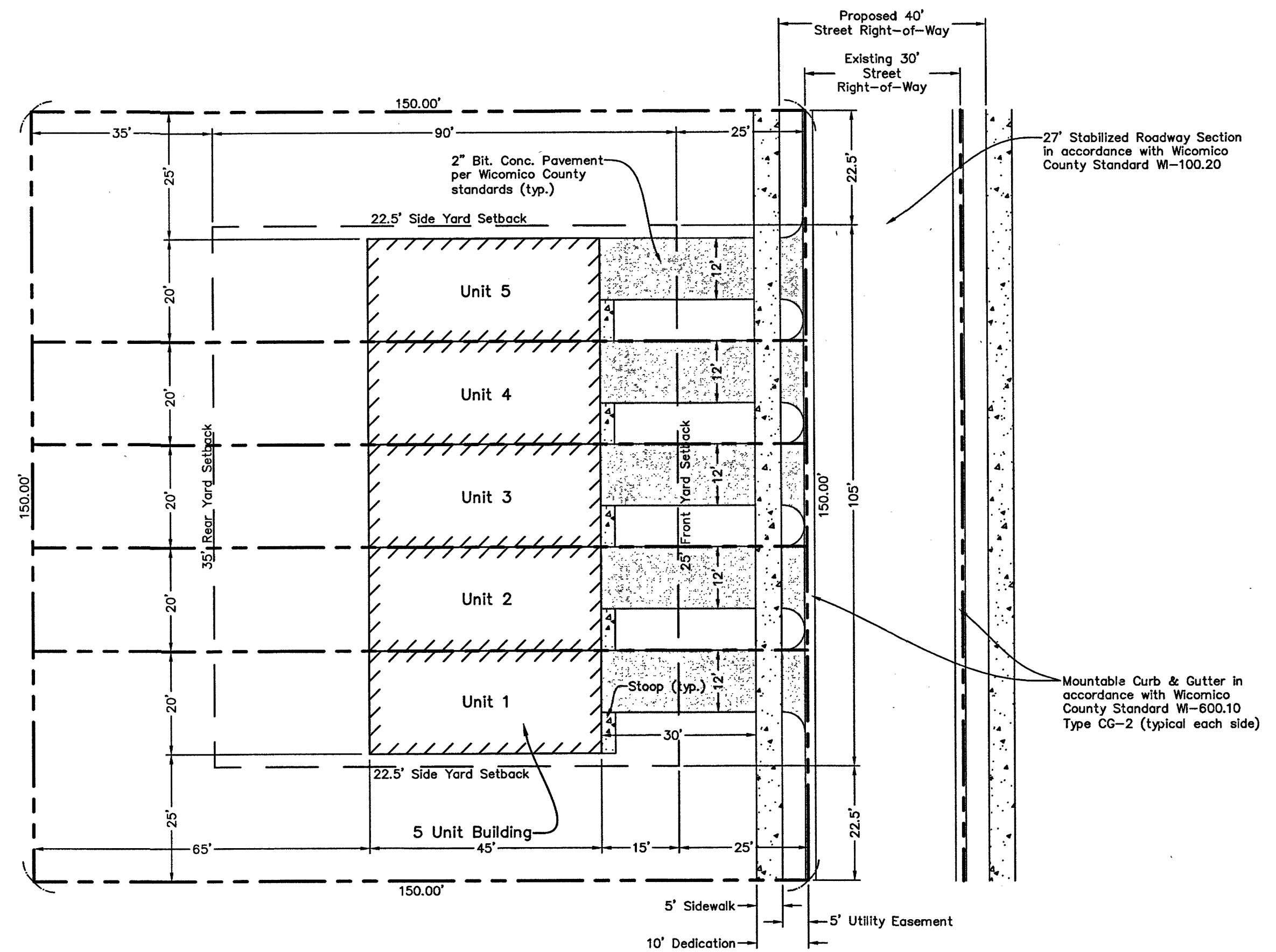
PLAN C DEVELOPMENT NOTES

STANDARDS AND PERMITTED USES:

- Lot is zoned as F-R2, Multiple-Family Residential.
- Permitted uses are:
All uses permitted in F-R1C Districts, minimum 10,000 sq.ft. lot
Two family dwelling, minimum 12,000 sq.ft. lot
Three family dwelling unit, minimum 15,000 sq.ft. lot
Four family dwelling unit, minimum 17,000 sq.ft. lot
Five family dwelling unit, minimum 19,000 sq.ft. lot
Townhouses not exceeding five dwelling units in one group, minimum 19,000 sq.ft. lot
- Building heights not to exceed 35 feet of two and one-half stories.
- Lot width not less than 75 feet and increases 15 feet for each dwelling unit more than two.
- Lot depth shall be a minimum of 125 feet.
- Building lot coverage not more than 30% of lot area including accessory buildings and patios.
- Front yard setback of not less than 25 feet.
- Side yard setback of not less than 15' plus 2.5 feet for each dwelling unit over two.
- Rear yard setback not less than 35 feet.
- Living area shall be not less than 690 sq.ft. for one bedroom, 815 sq.ft. for two bedroom and 975 sq.ft. for a three bedroom building.
- Density shall not be more than 25 bedrooms per acre.
- Parking provided shall not be less than one per bedroom.

ACTUAL LOT DEVELOPMENT:

- Area of 4 Unit Lot = 18,750 sq.ft.
- Lot Width = 125'
- Lot Depth = 140' (from back of sidewalk)
- Front Yard = 30' (from back of sidewalk)
- Side Yard = 22.5'
- Rear Yard = 65'
- Building Height = ±32'
- Unit Area = 1800 sq.ft. (2 stories, 900 sq.ft. each)
- Building ground floor plus patio and stoop is 3688 sq.ft. Lot coverage is $(3688/18750) \times 100 = 19.7\%$
- Building has 2 2 bedroom units and 2 3 bedroom units for a total of 10 bedrooms. Allowable is $(18750/43560) \times 25 = 10.8$ bedrooms
- Parking required is 10. Parking provided is 8. Units with garages will have 1 space in the garage and 1 in the driveway. Units without garages will be pushed back 10' to provide 2 parking spaces in the driveway.



**PLAN "D" PRELIMINARY SITE LAYOUT
TYPICAL 5 UNIT BUILDING (2 BEDROOMS EACH)**
Scale: 1" = 20'

PLAN D DEVELOPMENT NOTES

STANDARDS AND PERMITTED USES:

- Lot is zoned as F-R2, Multiple-Family Residential.
- Permitted uses are:
All uses permitted in F-R1C Districts, minimum 10,000 sq.ft. lot
Two family dwelling, minimum 12,000 sq.ft. lot
Three family dwelling unit, minimum 15,000 sq.ft. lot
Four family dwelling unit, minimum 17,000 sq.ft. lot
Five family dwelling unit, minimum 19,000 sq.ft. lot
Townhouses not exceeding five dwelling units in one group, minimum 19,000 sq.ft. lot
- Building heights not to exceed 35 feet of two and one-half stories.
- Lot width not less than 75 feet and increases 15 feet for each dwelling unit more than two.
- Lot depth shall be a minimum of 125 feet.
- Building lot coverage not more than 30% of lot area including accessory buildings and patios.
- Front yard setback of not less than 25 feet.
- Side yard setback of not less than 15' plus 2.5 feet for each dwelling unit over two.
- Rear yard setback not less than 35 feet.
- Living area shall be not less than 690 sq.ft. for one bedroom, 815 sq.ft. for two bedroom and 975 sq.ft. for a three bedroom building.
- Density shall not be more than 25 bedrooms per acre.
- Parking provided shall not be less than one per bedroom.

ACTUAL LOT DEVELOPMENT:

- Area of 5 Unit Lot = 22,500 sq.ft.
- Lot Width = 150'
- Lot Depth = 140' (from back of sidewalk)
- Front Yard = 30' (from back of sidewalk)
- Side Yard = 25'
- Rear Yard = 65'
- Building Height = ±32'
- Unit Area = 1800 sq.ft. (2 stories, 900 sq.ft. each)
- Building ground floor plus patio and stoop is 4610 sq.ft. Lot coverage is $(4610/22500) \times 100 = 20.5\%$
- Building has 3 2 bedroom units and 2 3 bedroom units for a total of 12 bedrooms. Allowable is $(22500/43560) \times 25 = 12.9$ bedrooms
- Parking required is 12. Parking provided is 10. Units with garages will have 1 space in the garage and 1 in the driveway. Units without garages will be pushed back 10' to provide 2 parking spaces in the driveway.

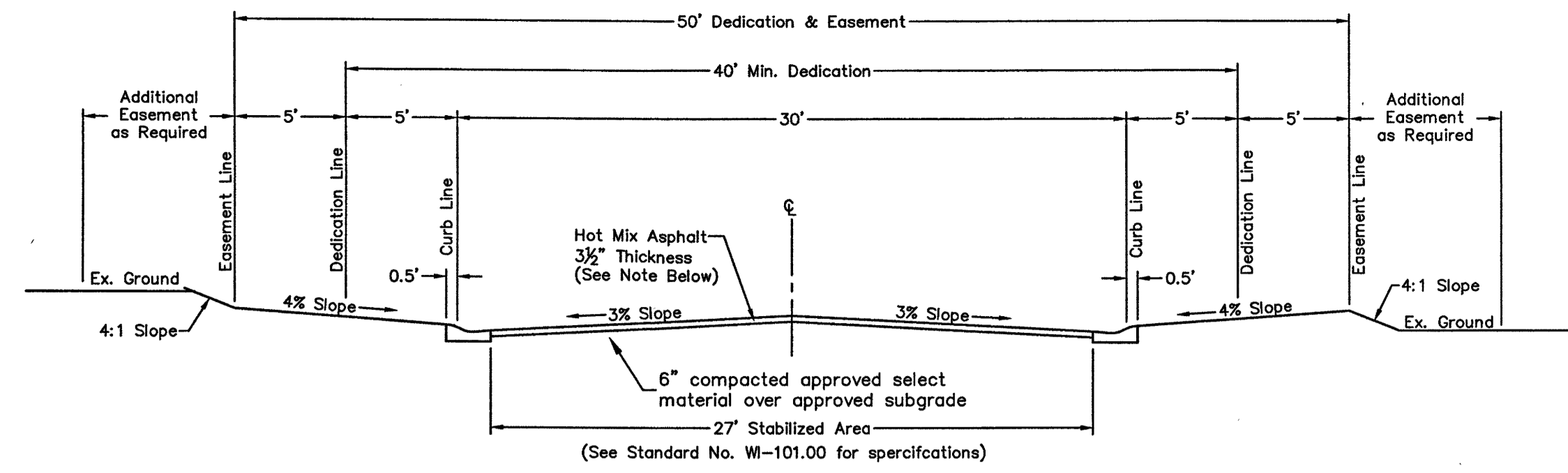
TYPICAL BUILDING LAYOUT, 4 & 5 UNIT

FOR THE LANDS OF
CAMDEN DEVELOPMENT, LLC

TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

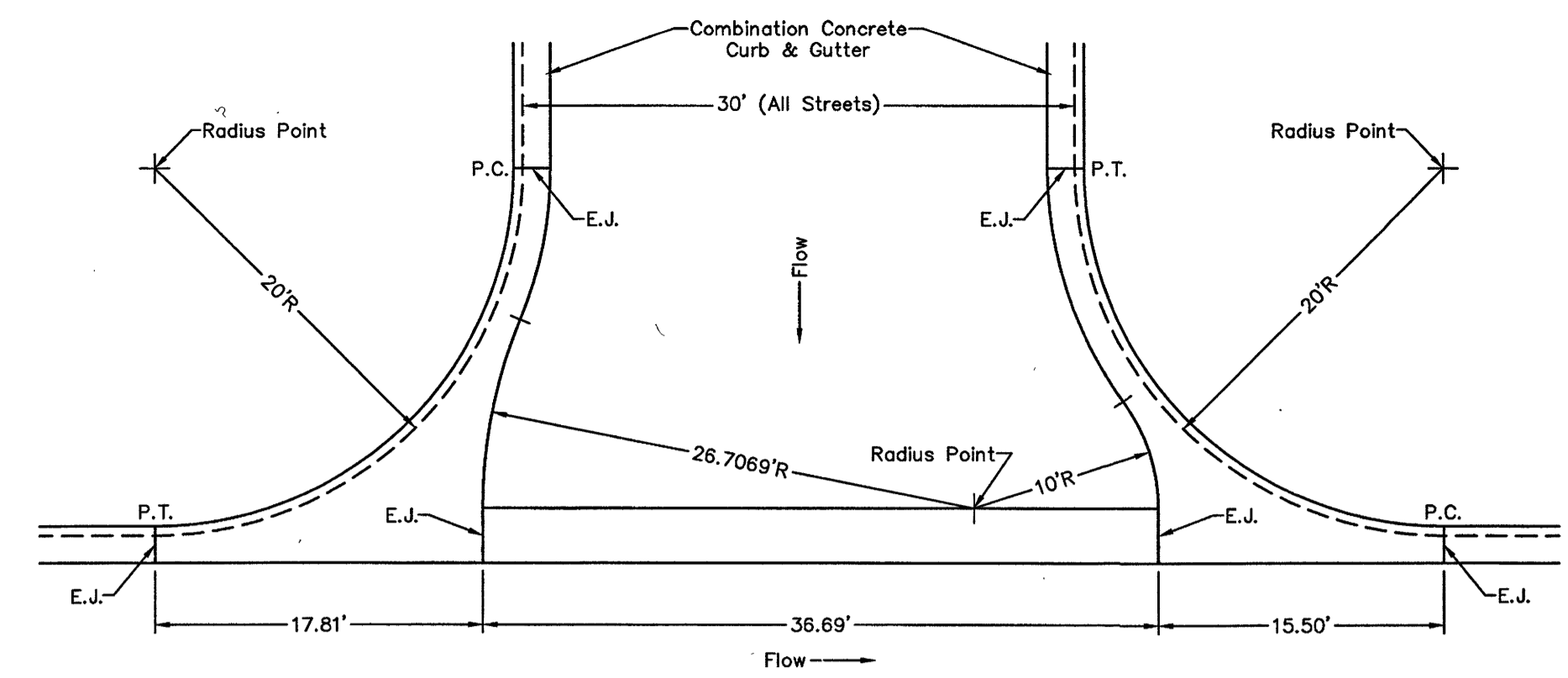
REVISIONS:		SCALE: 1" = 20'		PROJECT NUMBER
		DRAWN BY: MPB		PROJECT NUMBER
		DATE DRAWN: Aug. 2022		M22033
		DESIGNED BY: GEY		SHEET OF
		CHECKED BY: GEY		SP-3
		CADD DWG. NAME:		
		M22033 Camden Landing Site Plan		

Date Plotted: 12/18/2024



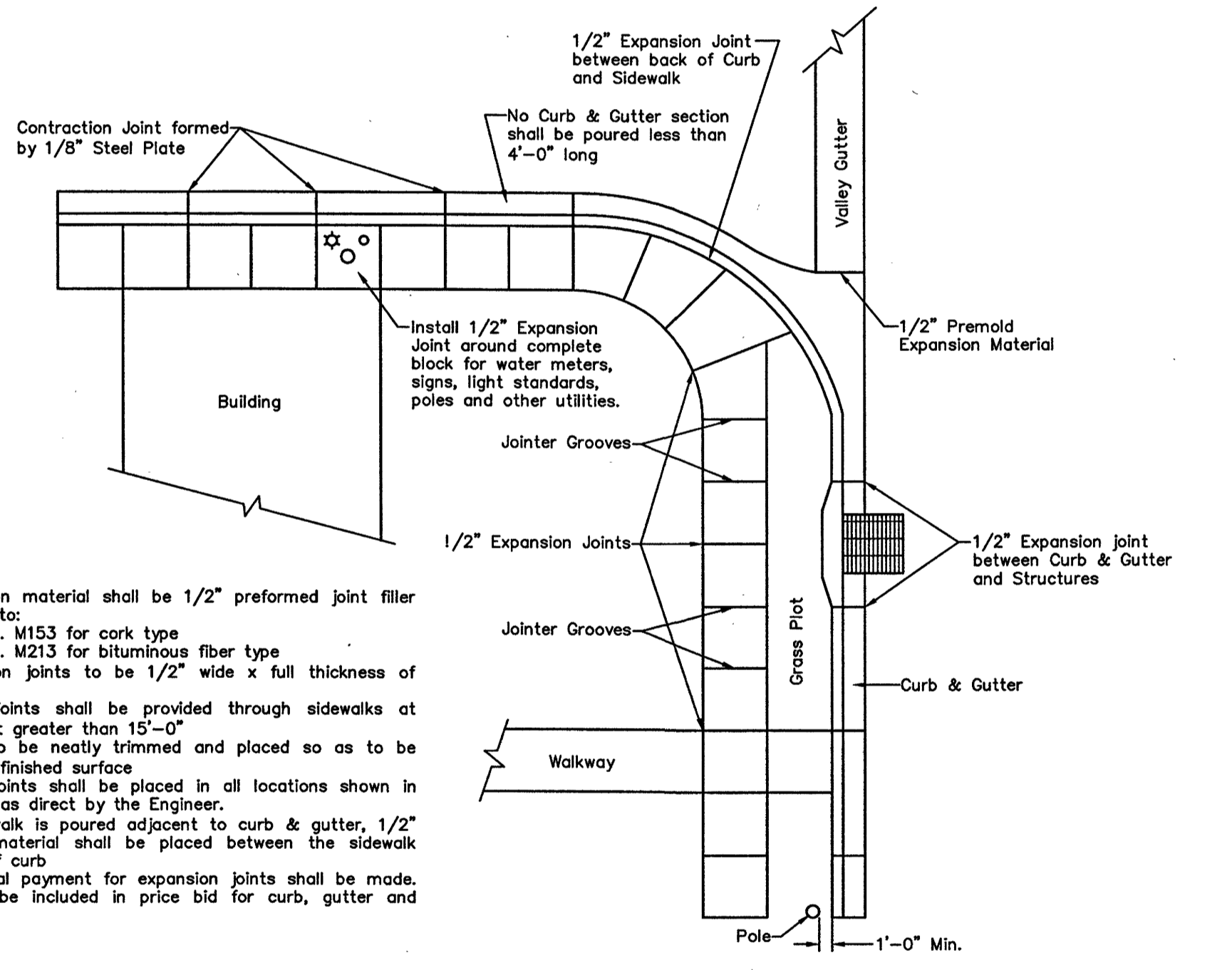
- NOTES:
- Pavement construction shall be 2 layers of hot mix for a total thickness of 3 1/2". Base course shall be 2" thick, installed on a minimum of 6" of CR-6. Surface course shall be a minimum of 1 1/2" thick. All construction shall be in accordance with Wicomico County and City of Fruitland Standards.
 - The Developer shall provide street plan, profile and drainage plan for all street construction. These plans must be approved by the Wicomico County Department of Public Works prior to start of construction.
 - An "Erosion and Sediment Control" permit must be obtained before any clearing and/or grading is permitted.
 - A "Stormwater Management" permit must be obtained prior to start of construction.
 - Unsuitable material shall be removed to a point 12" below subgrade of the stabilization. If unsuitable material is encountered at or below this point, the unsuitable material shall be removed as directed by the Wicomico County Department of Public Works. The unsuitable material shall be replaced with select borrow.
 - Slopes of 4:1 required except where street is through wooded areas and specific approval from the Wicomico County Department of Public Works is given to use 2:1 slopes.
 - Concrete curb and gutter shall not be designed or constructed at a grade of less than 0.30% or more than 6.00%.
 - See Standard No. WI-600.10 for curb and gutter details. Type CG-2 curb and gutter is shown on this typical section.
 - All areas disturbed by grading, including all slopes, shall be seeded and mulched. See Standard No. WI-700.01 for minimum seeding and mulching specifications.
 - A deed to Wicomico County, MD for road dedication and/or easements is required.
 - 5' wide easement is for future road, drainage, pedestrian and utility purposes.

TYPICAL STREET SECTION
N.T.S.



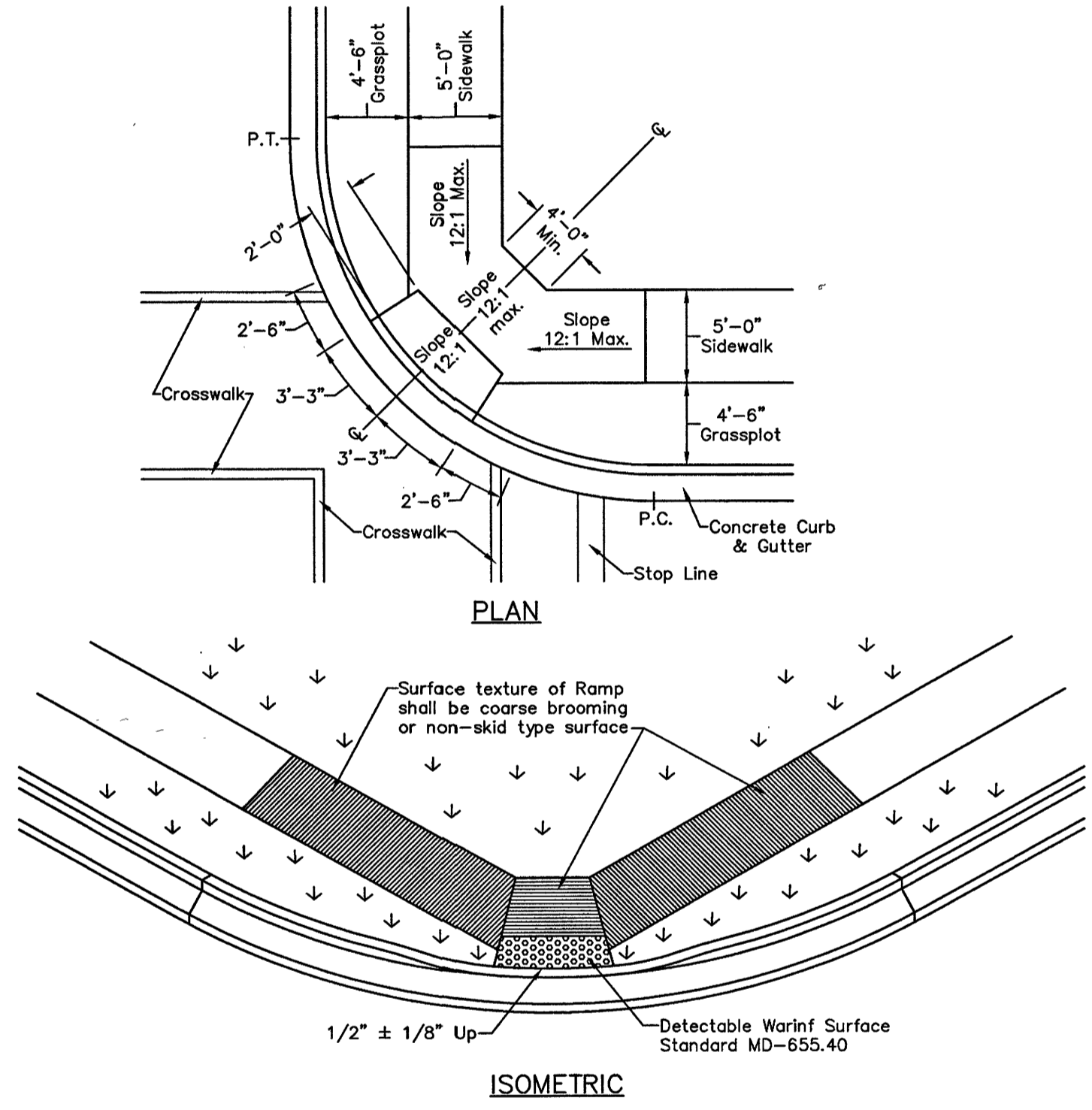
- NOTES:
- Concrete - MDSA Mix No. 2
 - Finish - Granolithic
 - E.J. - Expansion Joint Preformed Joint Filler (Full Depth of Concrete) Cork Type - AASHTO M 153 Bituminous Fiber Type - AASHTO M 213
 - Control Joints at 10' O.C. min. in Valley Gutter and Curb & Gutter.
 - The dimensions shown on this typical intersection are designed for a street intersection constructed at 90°. At any other angle the dimensions will change accordingly.

VALLEY GUTTER INTERSECTION DETAIL
N.T.S.



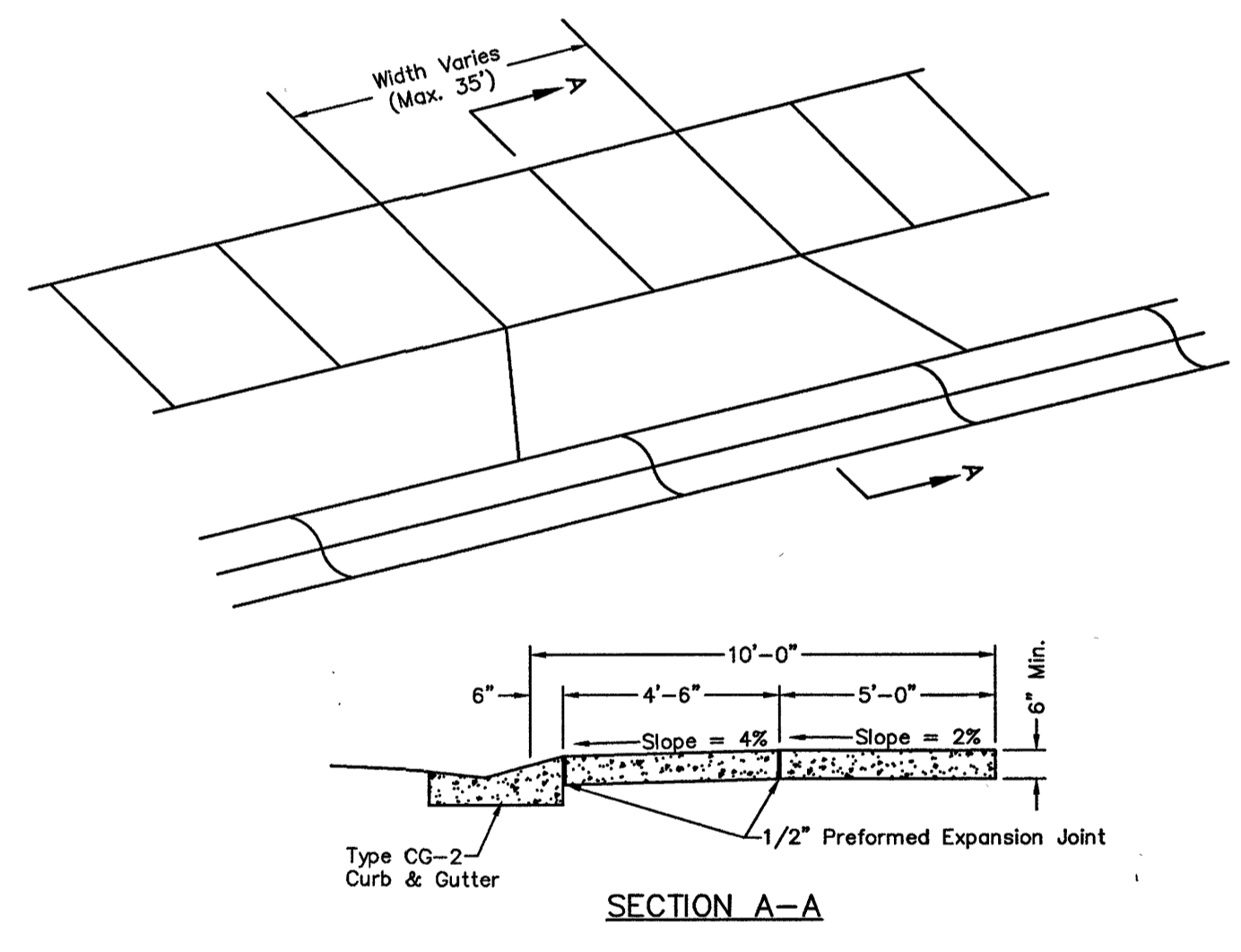
- NOTES:
- All expansion material shall be 1/2" preformed joint filler conforming to: A.A.S.H.T.O. M153 for cork type A.A.S.H.T.O. M213 for bituminous fiber type
 - All expansion joints to be 1/2" wide x full thickness of concrete
 - Expansion joints shall be provided through sidewalks at intervals not greater than 15'-0"
 - All joints to be neatly trimmed and placed so as to be 1/8" below finished surface
 - Expansion joints shall be placed in all locations shown in sketch and as direct by the Engineer.
 - Where sidewalk is poured adjacent to curb & gutter, 1/2" expansion material shall be placed between the sidewalk and back of curb
 - No additional payment for expansion joints shall be made. This must be included in price bid for curb, gutter and sidewalk.

EXPANSION JOINTS FOR CURB, GUTTER AND SIDEWALK
N.T.S.

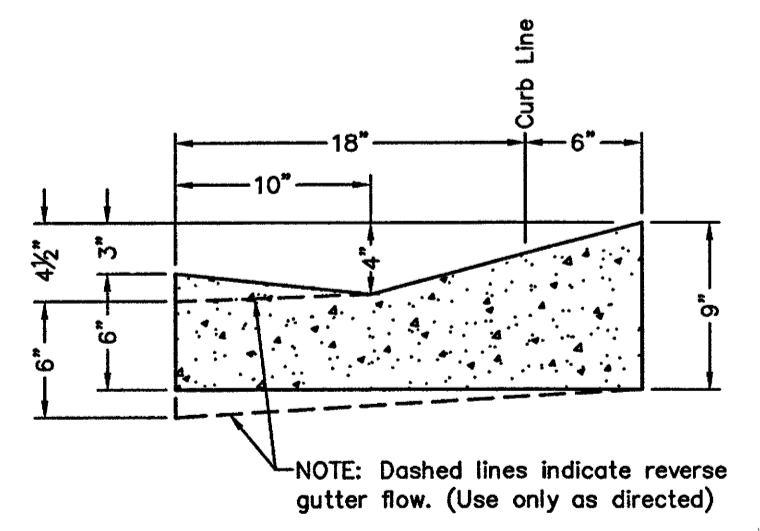


- NOTES:
- No slope shall exceed 12:1 on the ramp or sidewalk
 - See Standard WI-600.01 for details of standard combination curb and gutter
 - See Standard WI-600.30 for details of standard sidewalk and grassplot

HANDICAPPED SIDEWALK RAMP TYPE 'A'
N.T.S.

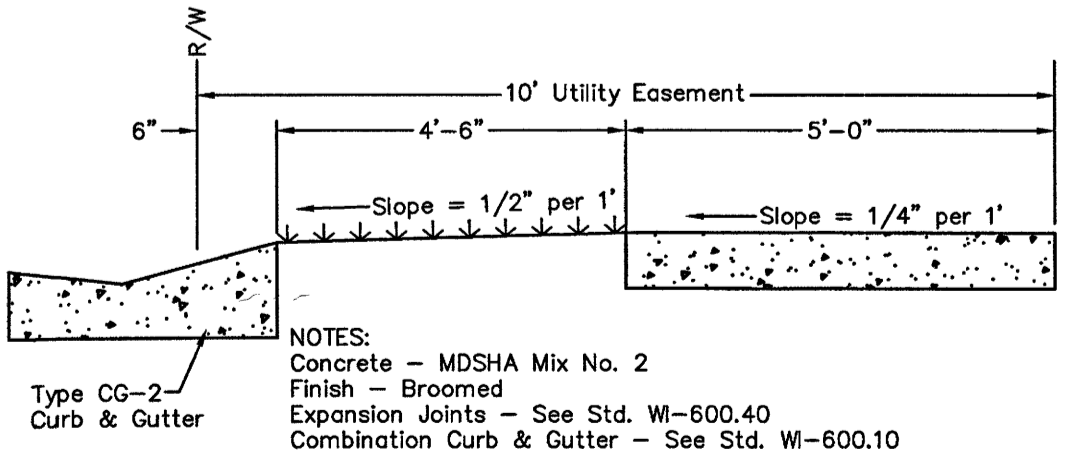


TYPICAL DRIVEWAY ENTRANCE
(Using Type CG-2 Curb & Gutter)
N.T.S.



- NOTES:
- Concrete - MDSA Mix No. 2
 - Finish - Granolithic
 - Joints shall be constructed at 10'-0" intervals except where shorter sections are necessary for closures. No section shall be shorter than 4'-0".
 - Thickness of curb and gutter shall be increased to 8" for commercial and industrial driveways.
 - Place 1/2" thick preformed expansion joints at 40'-0" intervals (max.) or construction joints poured with asphalt joint sealing compound.
 - Curing - Liquid membrane compound or approved equal.

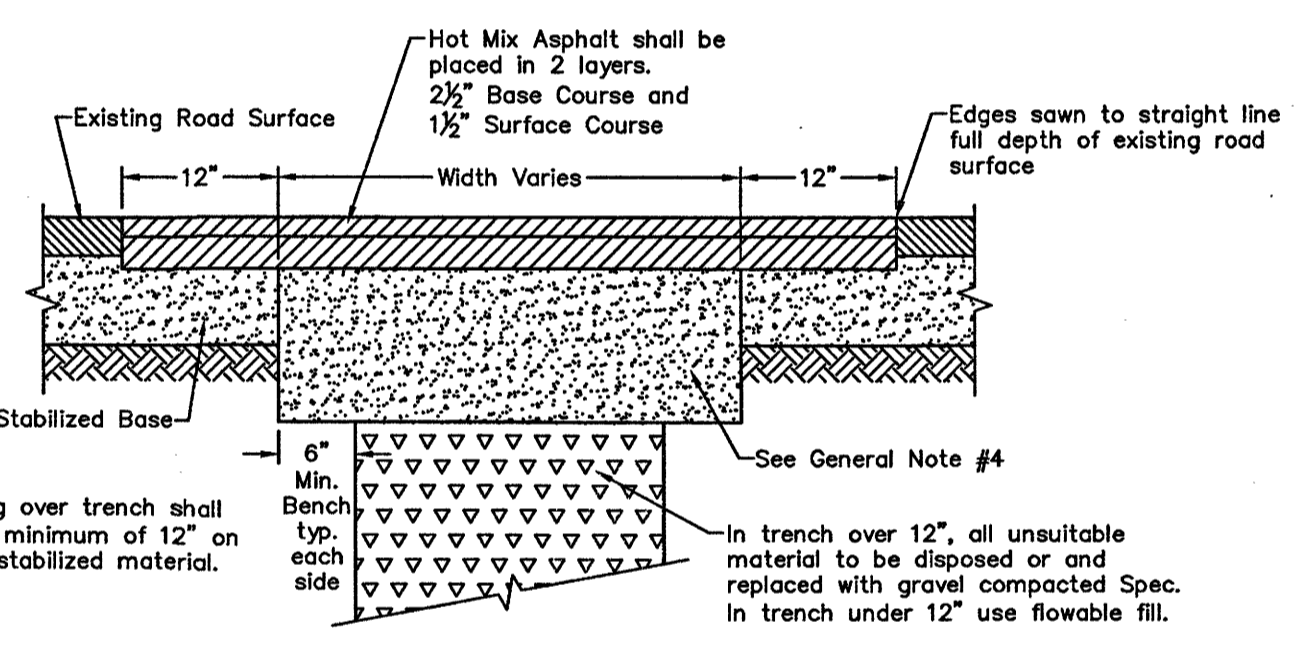
CG-2 MOUNTABLE CURB DETAIL
N.T.S.



- NOTES:
- Concrete - MDSA Mix No. 2
 - Finish - Broomed
 - Expansion Joints - See Std. WI-600.40
 - Combination Curb & Gutter - See Std. WI-600.10

STANDARD SIDEWALK DETAIL
N.T.S.

1. SUBGRADE PREPARATION
- The type of stabilization used with this specification is CR-6. For stabilization types other than CR-6 or recycled concrete advance approval is required in writing from the Wicomico County Department of Public Works prior to any work being performed.
 - Before grading is started, the entire right-of-way area shall be first cleared of all stumps, roots, brush and other objectionable materials and all trees not intended for preservation. All tree stumps, boulders and other obstructions shall be removed to a depth of two (2) feet below the subgrade.
 - All suitable material from roadway cuts may be used in the construction of fills, approaches or at other places as needed. Unsuitable material shall be removed to a point twelve (12) inches below the subgrade of the stabilization. If additional unsuitable material is encountered at or below this point, the unsuitable material shall be removed as directed by the Wicomico County Department of Public Works. The unsuitable material shall be replaced with acceptable cut material from the project or of borrow excavation in accordance with Section 203-"Borrow Excavation" (select borrow) of Maryland S.H.A. latest edition specifications including all errata and addenda. Compaction and moisture control for the materials finally used shall be accomplished in accordance with Section 204-"Embankment and Subgrade" of Maryland S.H.A. specifications including errata and addenda.
 - The roadways and their appurtenances shall be graded to the proper cross-section as shown in the Wicomico County book of "Construction Standards" and to the lines and profile grades shown on approved plans. The acceptability of the final subgrade shall be determined by the Wicomico County Department of Public Works before any stabilizing aggregates may be applied.
2. ROADWAY SUBGRADE STABILIZATION FOR GOOD, MEDIUM AND POOR SOILS
- The subgrade must be tested at 95% of dry density modified proctor to establish California Bearing Ratio Values. Subgrades with CBR above 20 will be classified as Good Class Subgrade, CBR between 5 and 20 will be classified as Medium Class Subgrade and CBR less than 5 as Poor Class Subgrade. Compaction of the aggregate subgrade shall be to 95% modified proctor density. Recycled concrete may be substituted per Wicomico County specification WI-100.02
 - Good Class Subgrade - CBR above 20 = use 6 inches of CR-6 (ASTM 2940(h))
 - Medium Class Subgrade - CBR 5 to 10 = use 10 inches of CR-6 (ASTM 2940(h))
 - Poor Class Subgrade - CBR 2 to 5 = use 14 inches of CR-6 (ASTM 2940(h))
Alternate design using geotextiles will be reviewed on a case by case basis
 - Very Poor Subgrade - CBR less than 2 = Design must be approved by County DPW
- CR-6 stabilization shall be applied by an approved mechanical spreader or approved alternate at the rate designated. After the stabilizing aggregate has been applied at the designated rate, the aggregate shall be carefully shaped so as to avoid segregation, brought to the proper grade and cross-section and thoroughly compacted. Water shall be added by sprinkling in sufficient quantity to attain proper compaction. Compaction and moisture control shall be accomplished in accordance with Section 501-"Aggregate Base Courses" of Maryland S.H.A. latest edition specifications including all errata and addenda.
 - The Wicomico County Department of Public Works or their Representative must be present as the stabilizing aggregate is being applied. Proof of aggregate weights shall be determined by certified weigh slips, which must be presented to the Wicomico County Representative prior to stabilizing aggregate being applied.
- NOTE: The subgrade shall consist of a minimum of 4 inches of CR-6. The remaining subgrade may be substituted with base course bituminous asphalt at the rate of 1 inch for each 2 inches of CR-6.



- NOTE: Paving over trench shall be placed a minimum of 12" on undisturbed stabilized material.
- NOTE: In trench over 12", all unsuitable material to be disposed of and replaced with gravel compacted Spec. In trench under 12" use flowable fill.

- NOTES:
- A permit must be obtained from the Department of Public Works for excavation of any trenches within the right-of-way lines of any Wicomico County roads.
 - Any trenches within the right-of-way lines of any Wicomico County roads shall be backfilled with suitable material. If unsuitable material is encountered, it shall be removed and replaced with borrow excavation. Material reused, borrow, compaction and moisture control shall comply with the latest Maryland State Highway Administration specifications.
 - All pipes shall be installed per the Manufacturer's recommendations. Trenches shall have a minimum width of the pipe plus one (1'-0") foot on each side.
 - The top one (1'-0") foot of the stabilization in paved roads shall be filled and compacted with stone aggregate meeting gradation requirements of ASTM D 2940 crusher run aggregate (CR-6). Measurement referenced to bottom of pavement.
 - Where utility trenches are installed transverse to the road and are more than 50 feet apart, repave based on this detail. Otherwise, install the trenches per this detail with base course and repave the surface course for the entire road width the distance between the trenches. For trenches that do not cross the centerline, repave half the road width for the distance specified.
 - Where utility trenches are installed parallel to the road and do not cross the centerline, repave half the road width for the length of the trench. If the trench crosses the centerline, repave the entire road width.
 - In areas where trenches are not in the paved areas, backfill and compaction shall meet the requirements in Note 2 above. All disturbed areas shall then be topsoiled, seeded and mulched in conformance with Maryland Standards and Specifications for Soil Erosion and Sediment Control.

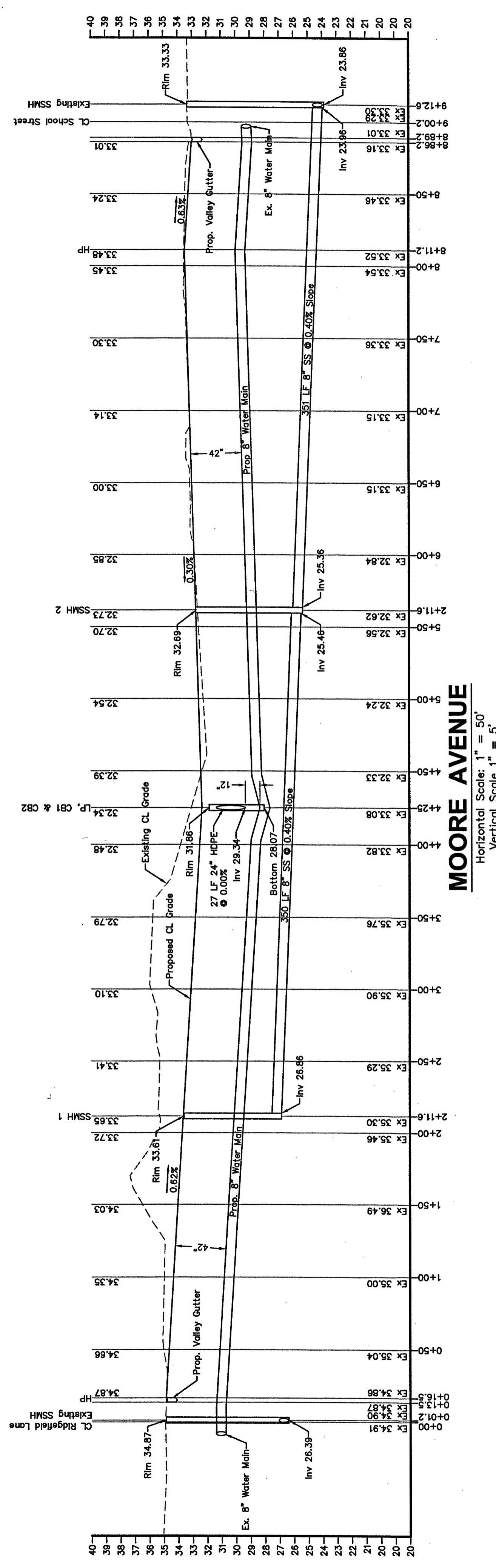
STREET REPAIR DETAIL
N.T.S.

ROAD & SIDEWALK DETAILS

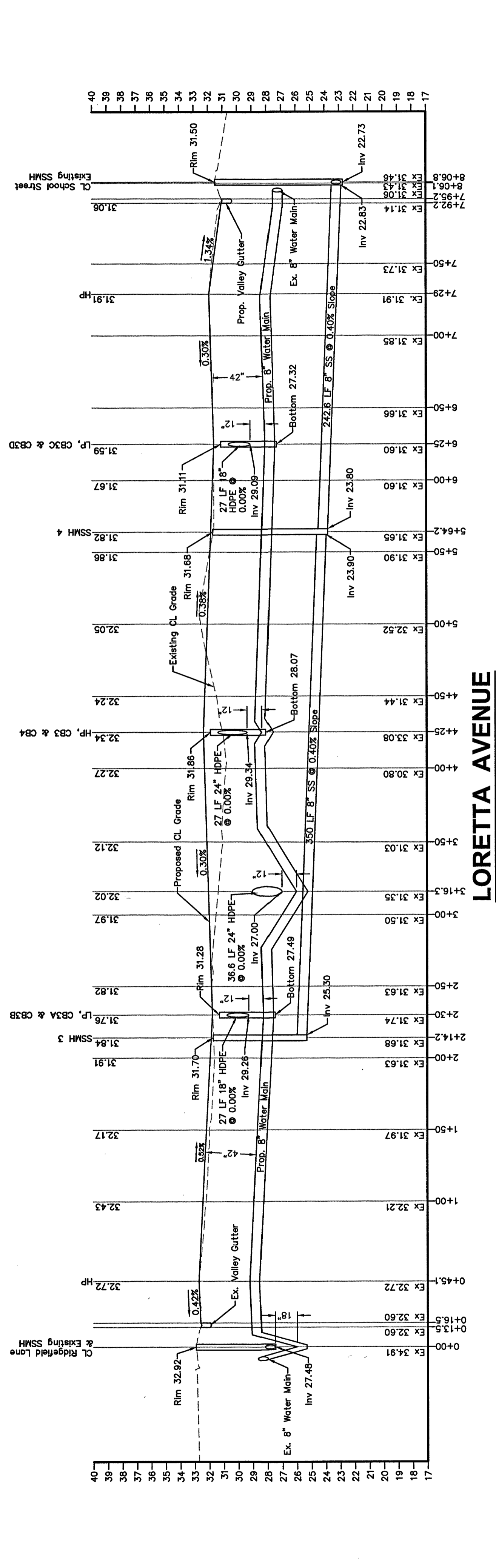
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC

TAX MAP 802, GRID 12, PARCELS 1125, 1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

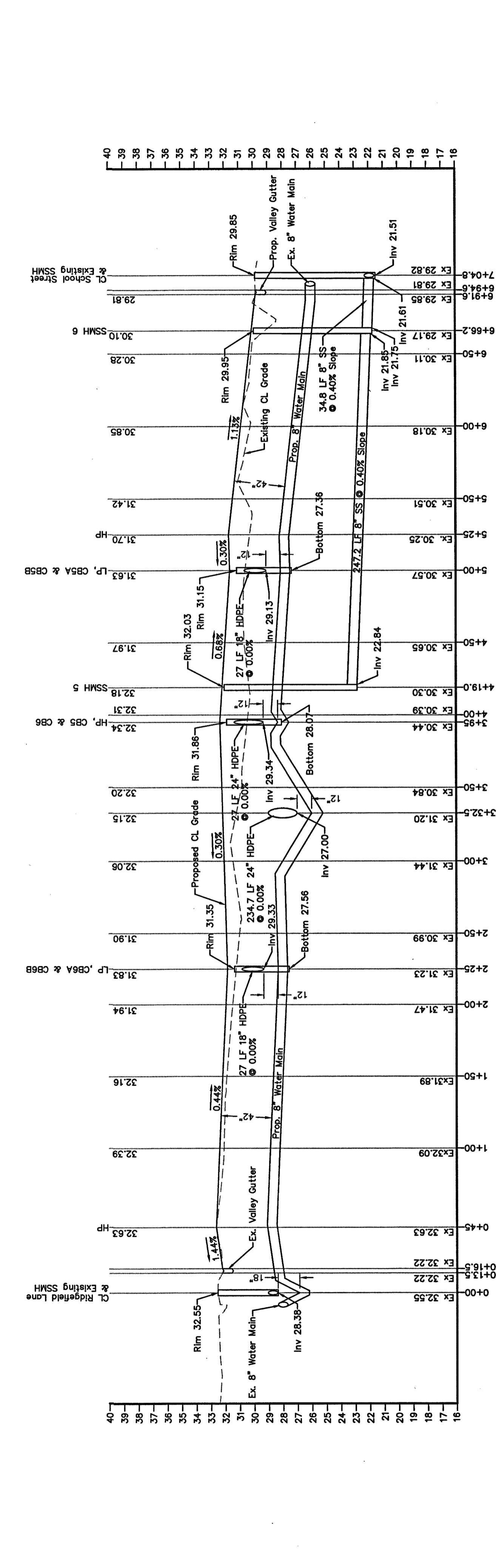
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		DRAWN BY: MPB		M22033
		DATE DRAWN: Aug. 2022		SHEET OF
		DESIGNED BY: GEY		SP-4
		CHECKED BY: GEY		
		CADD DWS. NAME:		
		M22033 Camden Landing Site Plan		



MOORE AVENUE
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'



LORETTA AVENUE
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'



SYDNEY AVENUE
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'

- NOTES:**
- Maintain a minimum 10' horizontal separation between sanitary sewer mains and water mains.
 - 8" water mains shall be buried a minimum of 42" and a maximum of 60". Materials shall be c-900 water mains.
 - 8" sewer mains shall be SDR 35 PVC, except on Sydney Avenue where sewer mains shall be ductile iron.
 - All sewer mains shall be installed at a 0.40% grade unless shown otherwise.
 - Sanitary sewer line lengths shown are approximate. Actual length to be set in the field by the surveyor.
 - Polyvinyl Chloride (PVC) plastic pipe and fittings shall be used where shown and shall meet requirements of ASTM D3034 & ASTM D3217 and have a minimum wall thickness classification of 37.5. All pipe shall conform to SCL Engineering Practice 3rd Edition. Contractions shall be made in accordance with the Resilient Joint Specification. All pipe shall be installed with a gasket joint that meets ASTM F-477 specifications.

WATER, SEWER & ROAD PROFILES
 OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC

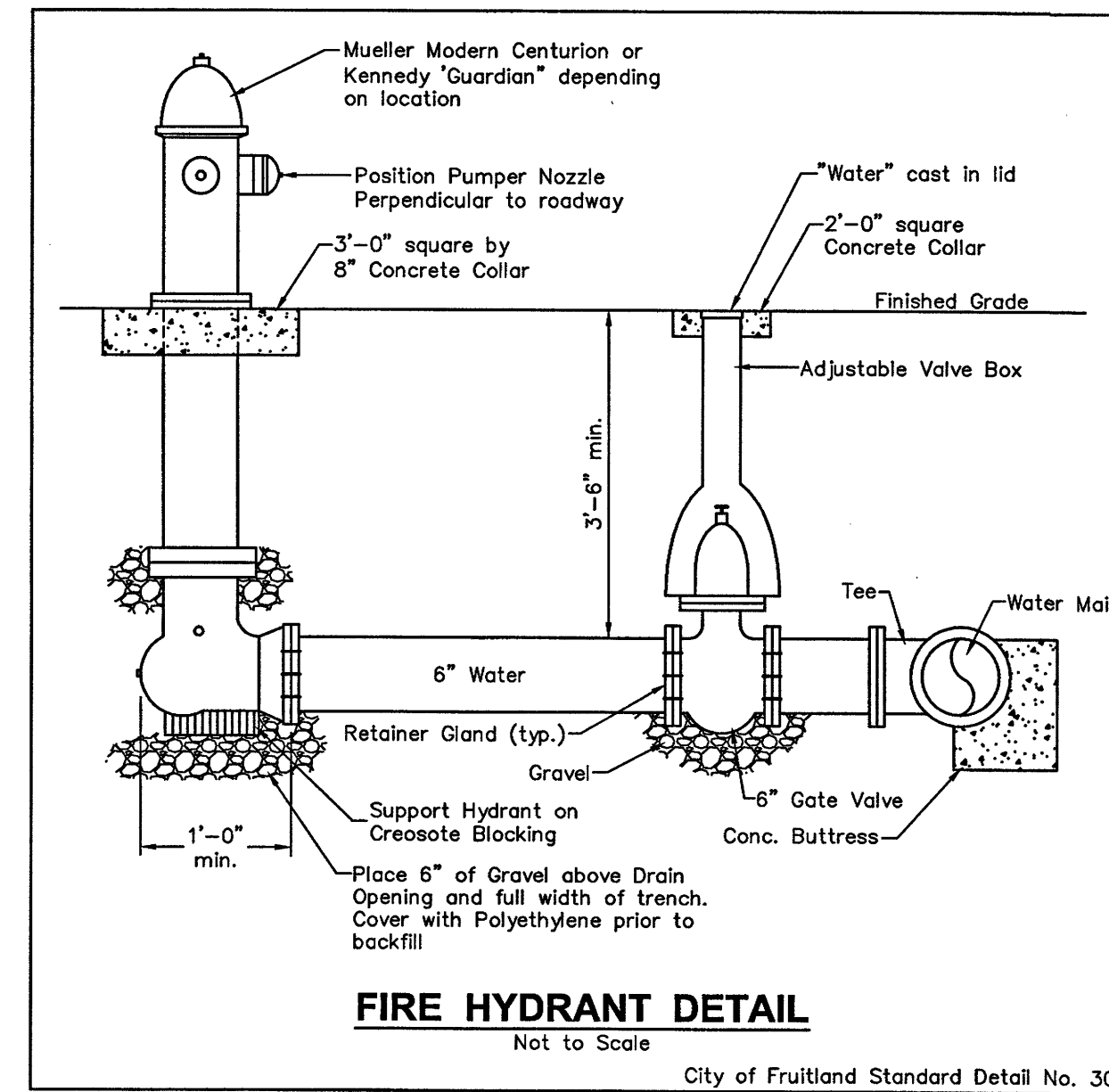
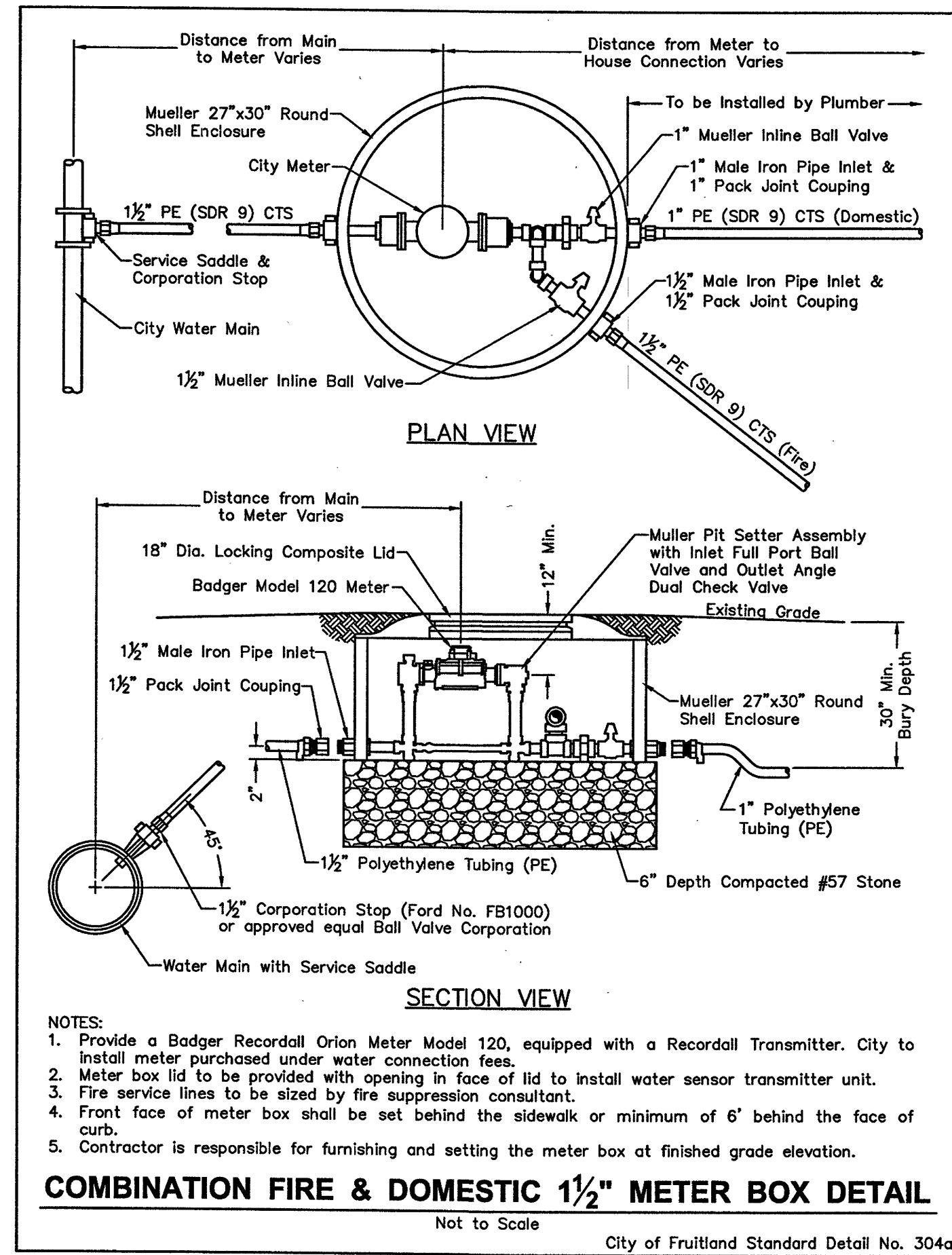
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
 CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:

SCALE: 1" = 50'
 DRAWN BY: MPB
 DATE DRAWN: Aug. 2022
 CHECKED BY: GEY
 CAD/DWG. NAME: M22033 Camden Layout
 Water & Sewer

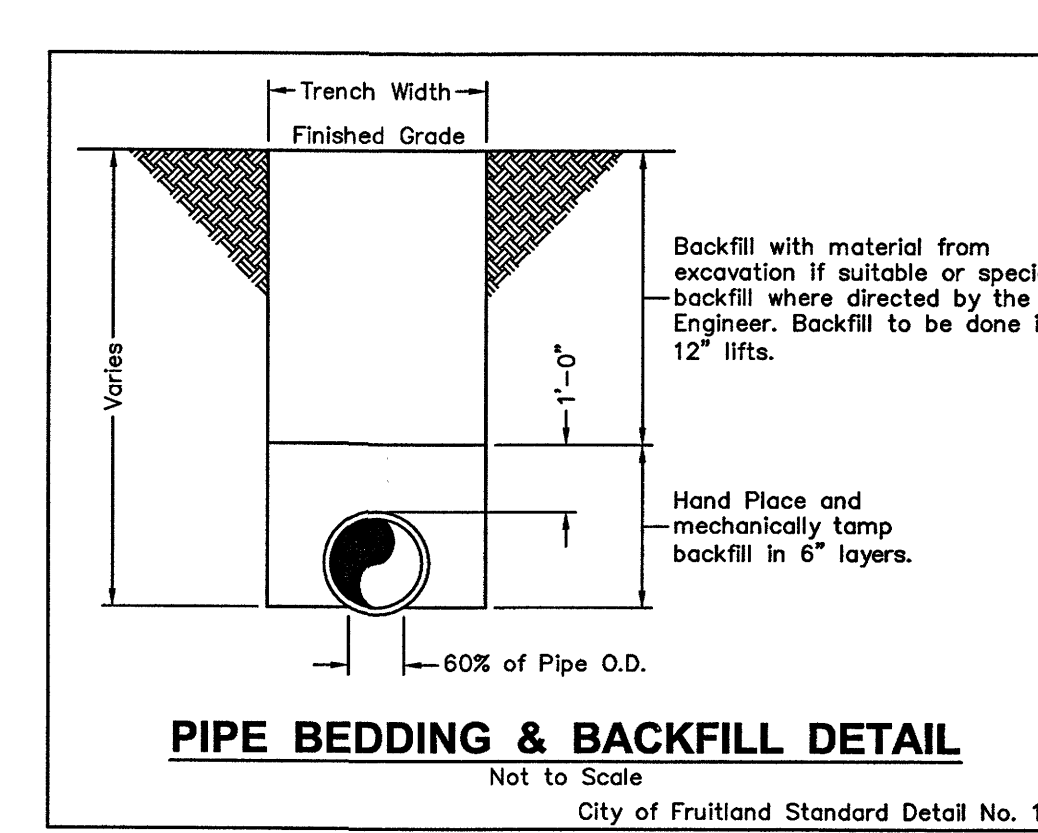
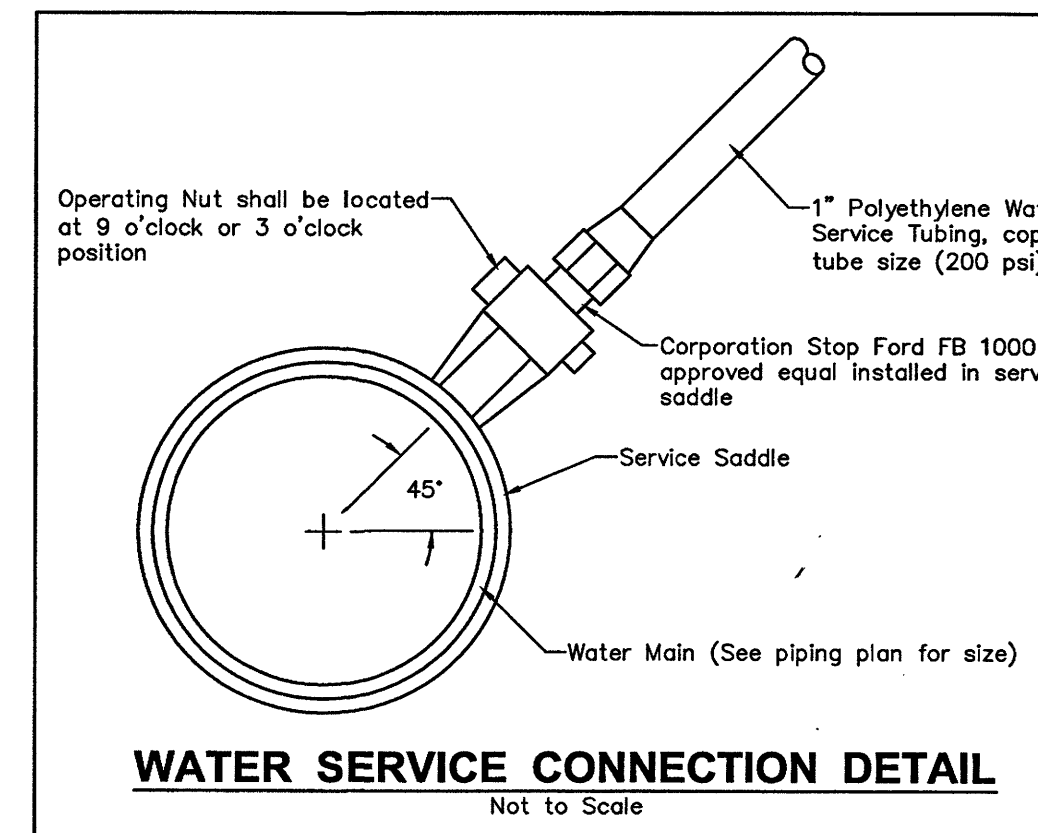
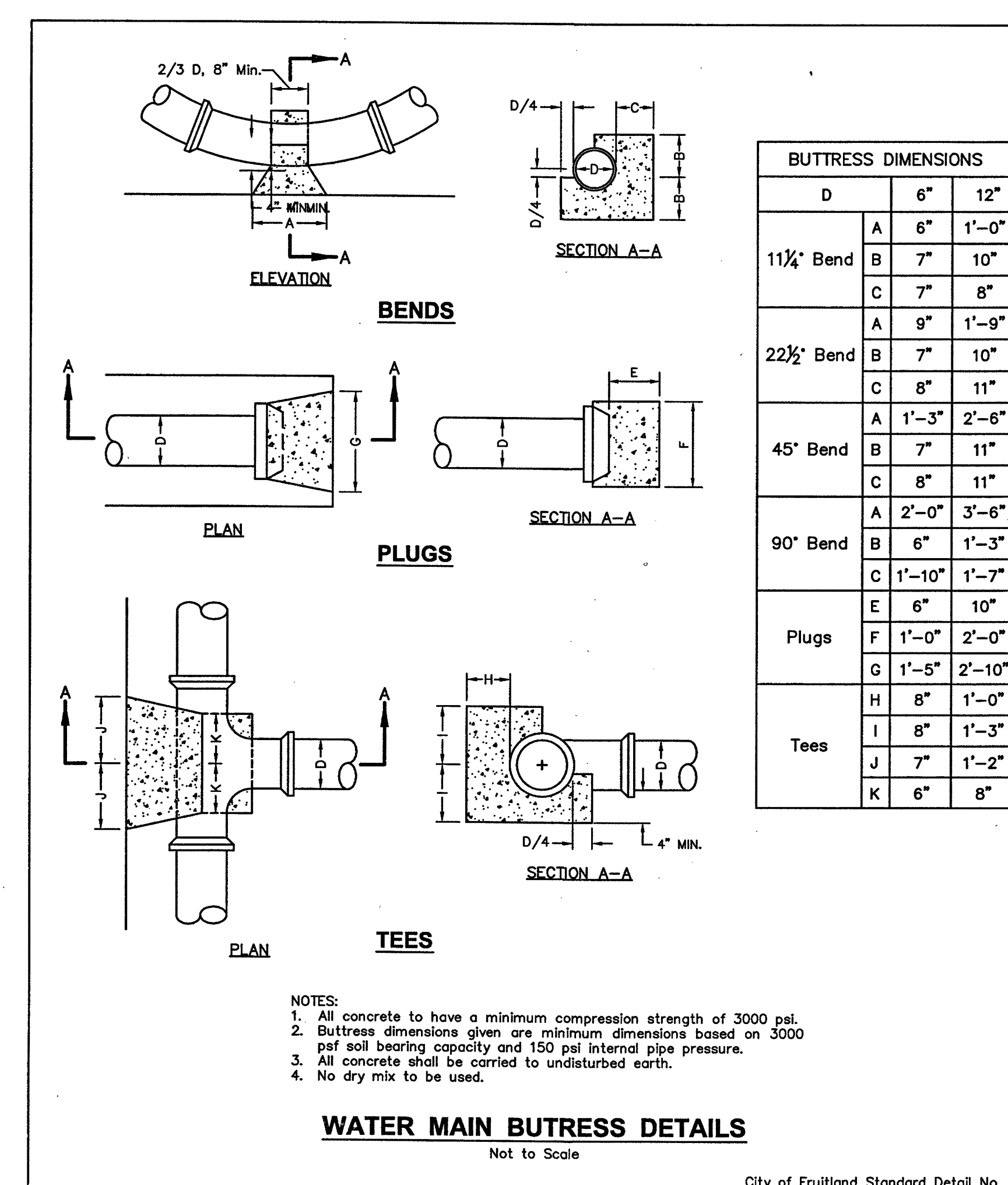
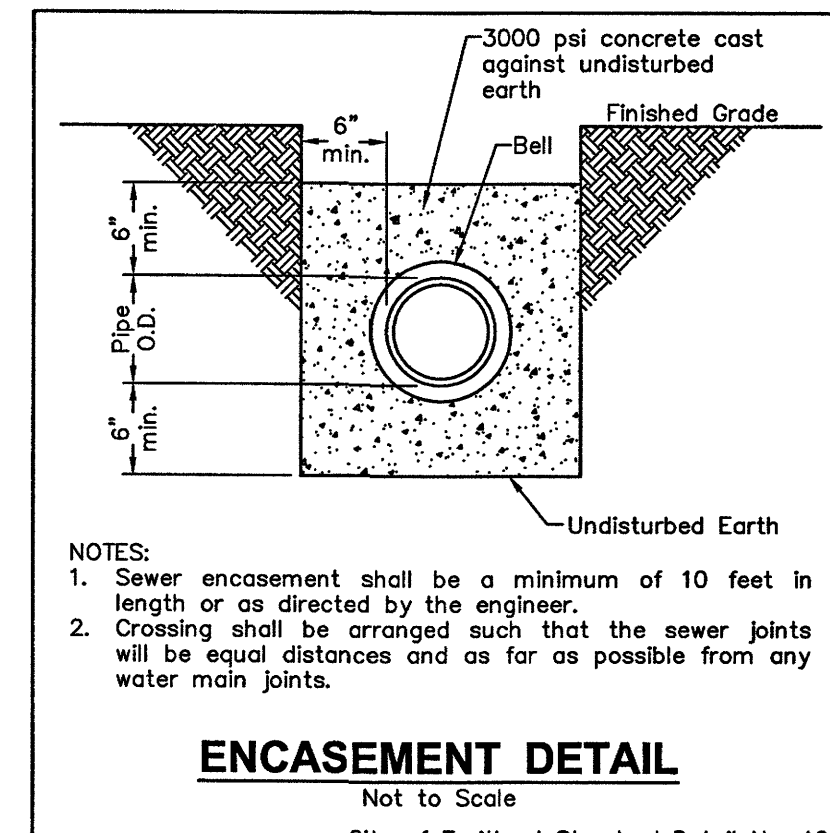
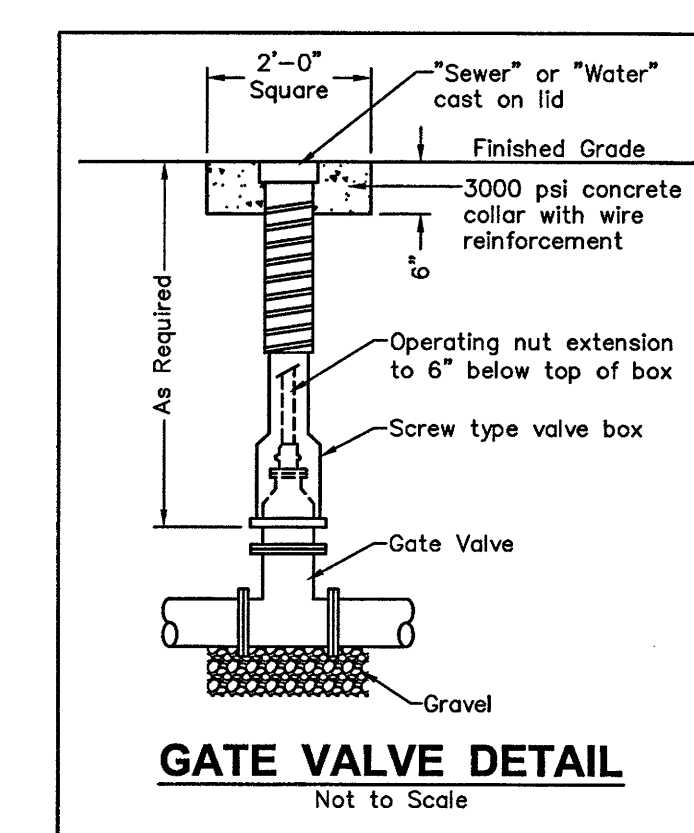
GEORGE E. YOUNG, III, P.C.
 PROFESSIONAL ENGINEER
 1603 MARKET STREET
 POODOIKE MARYLAND 21851
 PHONE: (410)-957-2149
 FAX: (410)-957-2328

PROJECT NUMBER: **M22033**
 SHEET OF: **WS-2**



CONSTRUCTION NOTES

- See General Project Development Notes on the contract drawing cover sheet for location and description of the property and limits of the proposed project development.
- The Contractor shall be responsible for coordination of all work with other trades and work performed under this or other contracts for site development and the building construction and related trades.
- The scope of work under this section of the contract documents includes installation of new water mains and gravity sewer lines, fire hydrants, valves, fittings, house services, meters, cleanouts, storm drains, stormwater management systems, connection to existing utility systems, test fitting, roadway/street construction, fill and stabilization, sidewalks, curb, gutter, test disinfection, grading, seeding, soil erosion and sediment control, etc., and all other appurtenant work as detailed herein and as contained in the contract specifications.
- The elevations and locations of underground utilities were obtained from existing utility drawings and field surveys. It is the Contractor's responsibility to verify the locations and elevations of existing utilities and structures for possible conflict with the proposed work prior to start of construction.
- The Contractor shall contact Miss Utility (phone 1-800-257-7777) to verify location of underground utilities of least 72 hours prior to start of construction.
- Prior to submitting a bid, the Contractor shall visit the proposed construction site and become thoroughly familiar with existing conditions in the proposed construction areas.
- The Contractor shall note that in case of discrepancy between scaled drawings and dimensions shown hereon, the figured dimensions shall govern.
- The Contractor shall confine his work strictly within the limits of construction. Any damage to existing utilities, structures, paving, etc., caused by the Contractor's work activities shall be immediately repaired by the Contractor at his expense.
- After completion of all utility construction, the Contractor shall restore grade elevations of all paved and stabilized surfaces to that which existed prior to start of construction.
- It shall be the Contractor's responsibility to obtain and pay for all permits for construction and comply with the requirements thereof.
- All on-site development including roads, sidewalks, curb, gutter, storm drains, storm water management, water, sewerage facilities, etc., shall be built to the standards and specifications of the City of Fruitland. Typical layout, details and specifications shall be in accordance with the City's "Standard Details for Utility Construction", Latest Edition thereof. Details provided herein are for reference and the City of Fruitland standards based on the latest edition shall take precedence.
- Unless otherwise noted, all water mains shall be installed to a minimum depth as to maintain 42" of cover over all piping.
- All water mains, unless otherwise shown, shall be PVC, SDR-18, to the sizes as shown and meet the requirements of AWWA C900, Latest Edition thereof, with elastomeric gasket bell ends. All fittings shall be ductile iron with mechanical joints meeting the requirements of AWWA C110 and C111, Latest Edition. All sewer mains shall be PVC, SDR-35, to the sizes as shown and installed and tested in accordance with City of Fruitland requirements and as hereinbefore specified.
- All water main construction shall be installed with a minimum distance of 10' from any sewer lines, except at utility crossings, where water mains shall be installed a minimum 18" above all sewer lines. If water mains are installed less than 18" above sewer lines, or are installed below sewer lines, encase sewer line in concrete 10" on each side of the crossing in accordance with the City of Fruitland requirements.
- Disinfection and testing of all water mains and related plumbing shall be in accordance with the Maryland Department of the Environment, Wicomico County and the City of Fruitland requirements.
- City of Fruitland Department of Public Works reserves the right to alter or otherwise change the utility plan during construction, as field conditions may warrant.
- Approval of these utility plans, details and specifications by the City of Fruitland Department of Public Works is not a representation, guarantee or warranty of any kind and shall create no liability upon the City, its officials or employees.
- The City of Fruitland reserves the right to require changes and/or modifications to the utility plans and details following plan approval, if, in the opinion of the City, such changes and/or modifications are necessary to correct deficiencies in the plan.
- All stabilization, paving and road patching in the public roadway which is necessitated by the construction of this project shall be performed by a paving contractor who is approved for such work by the City of Fruitland.
- A written "Notice to Proceed" must be obtained from, and a "pre-construction" meeting scheduled with the City of Fruitland Department of Public Works before beginning construction in public right-of-ways, easements and/or streets that may be maintained by the City. The Contractor shall contact the City of Fruitland Department of Public Works, 401 East Main Street, Fruitland, Maryland, 21826-0120 (phone: 410-548-2800, fax: 410-548-4362) to schedule a pre-construction meeting and obtain the written notice to proceed with the work.
- Contractor's approval and acceptance of these plans and specifications is required prior to start of any construction.
- The design standards utilized for development of the water and sewerage systems for this project are as follows:
 Total number of residential units = 56 units
 Total population @ 3 persons per unit x 56 = 168 persons
 Average daily flow @ 150 gpd x 168 = 25,200 gpd
 Peak design flow (factor of 4) 25200/1440 x 4 = 70 gpm
 Minimum pipe size for sewer mains = 6" PVC, SDR 35
 Minimum slope for sewer mains = 0.4% "n" of 0.0125
 Minimum pipe size for sewer house services = 6" PVC, SDR 35
 Minimum slope for sewer house services = 2.0% "n" of 0.0125
 Minimum pipe size for combination fire/water services for each building = 1-1/2" PVC

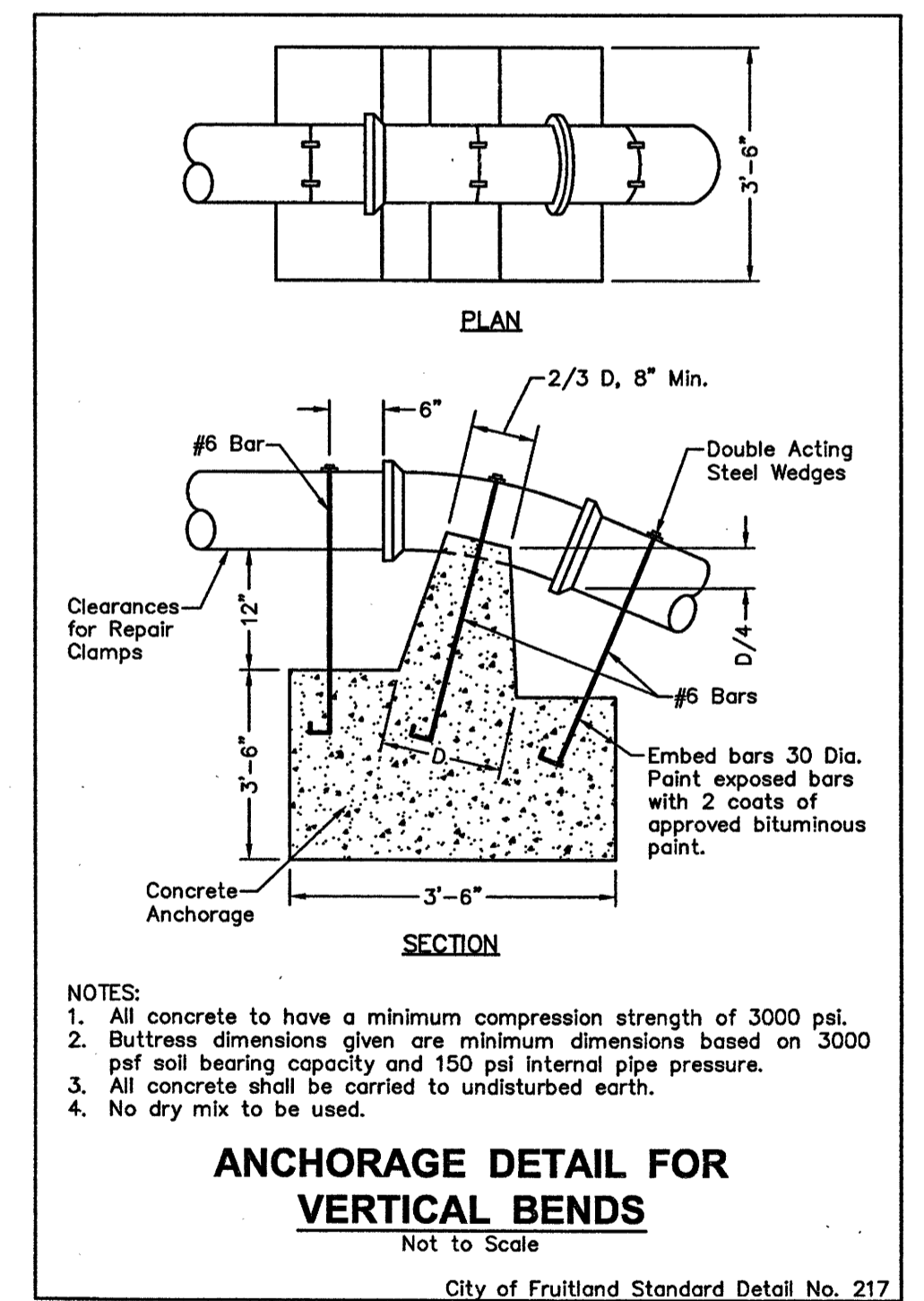
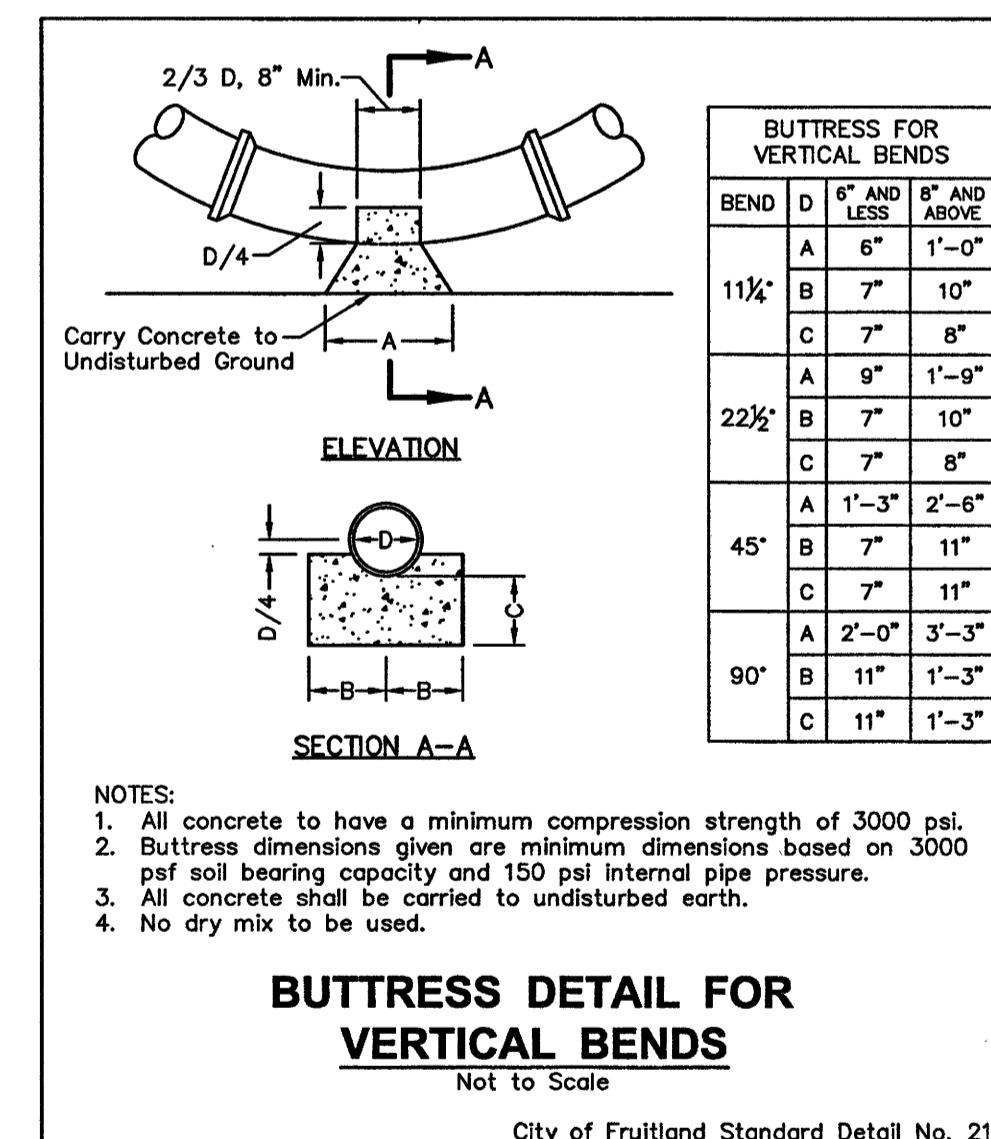
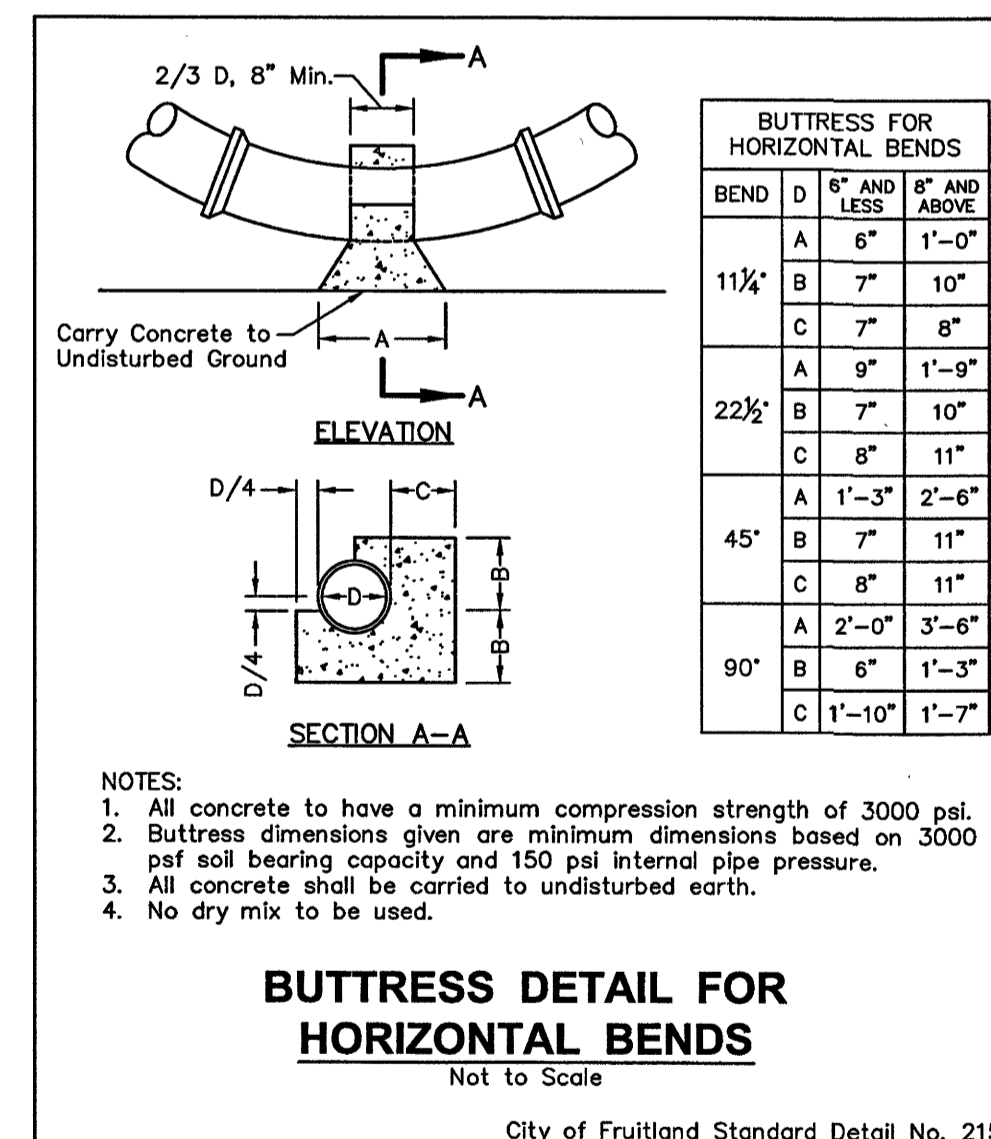
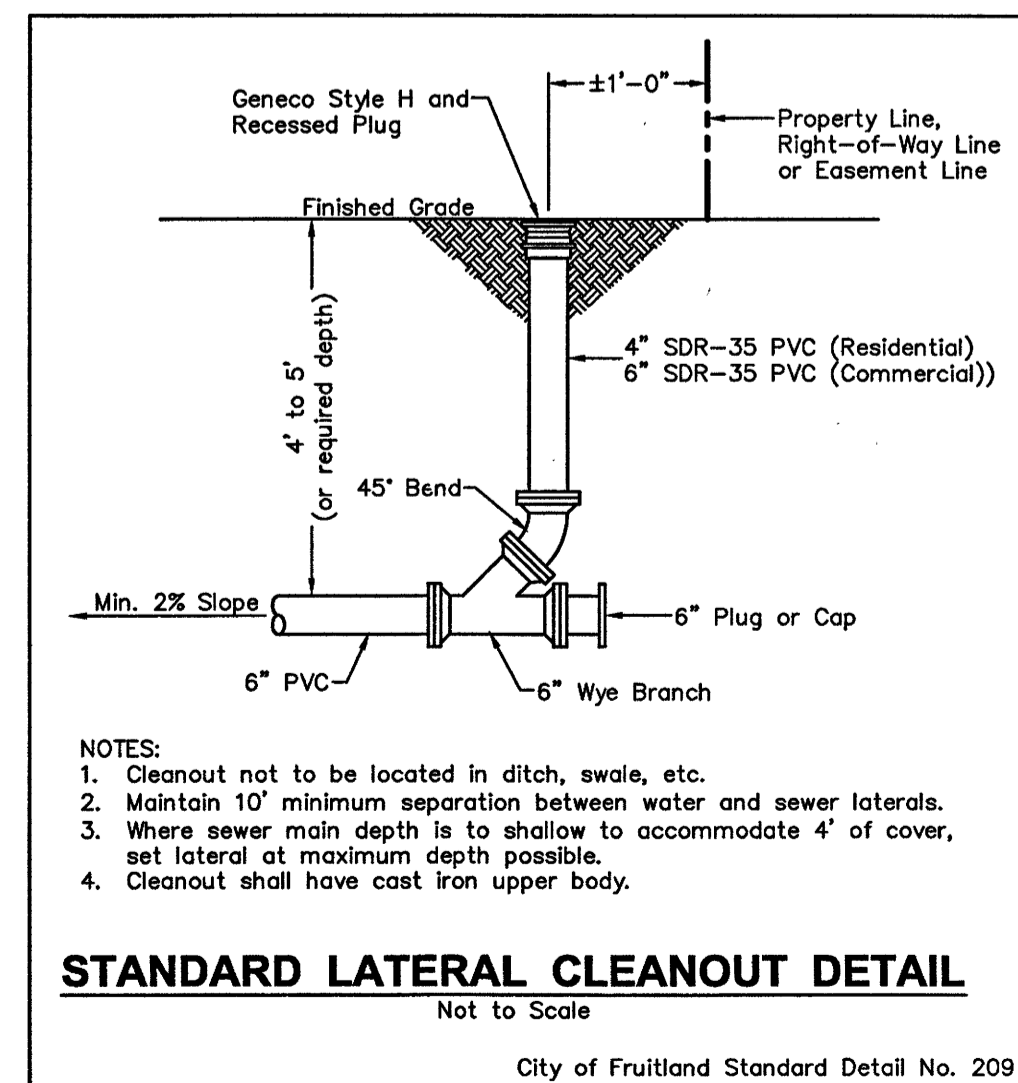
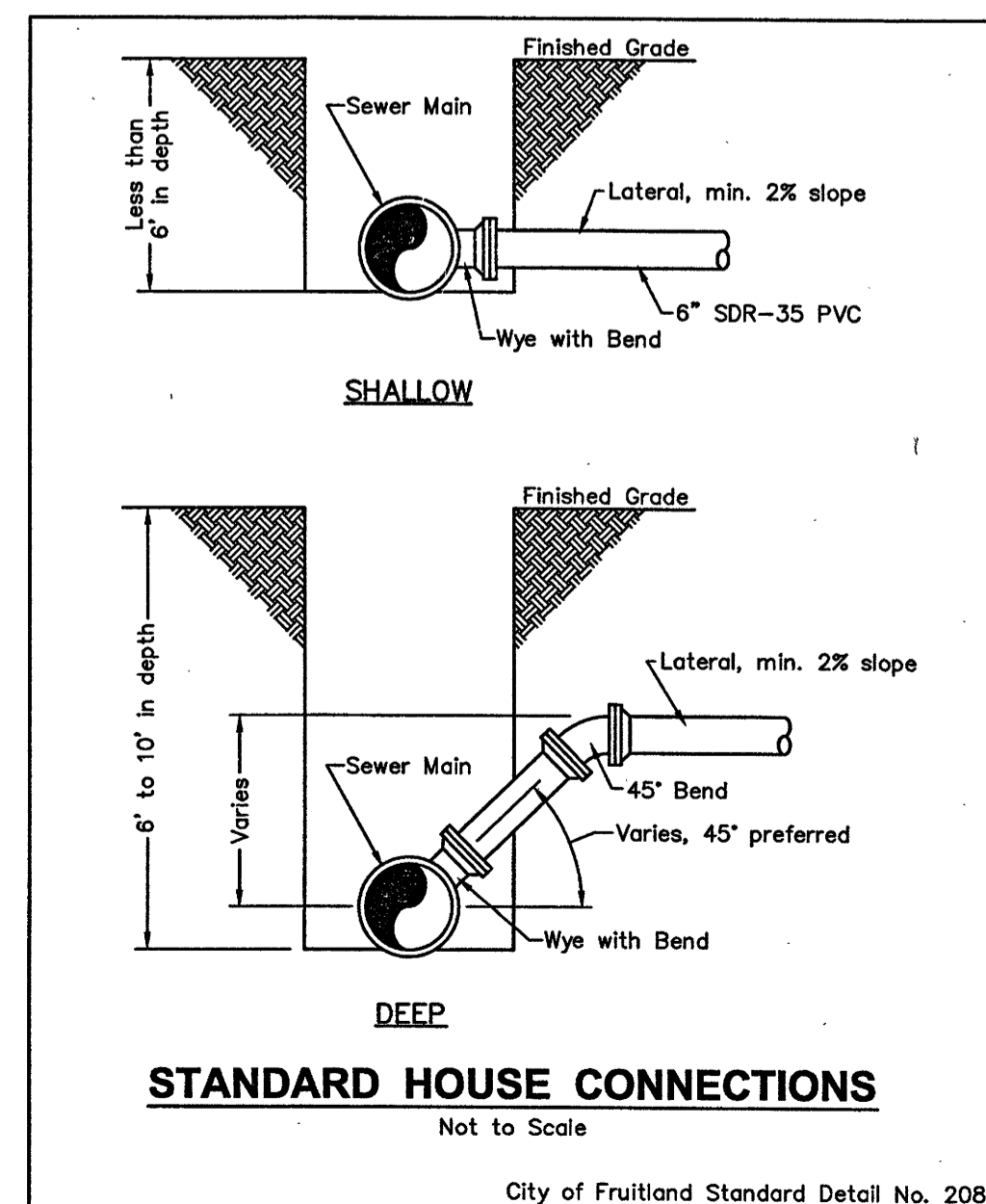
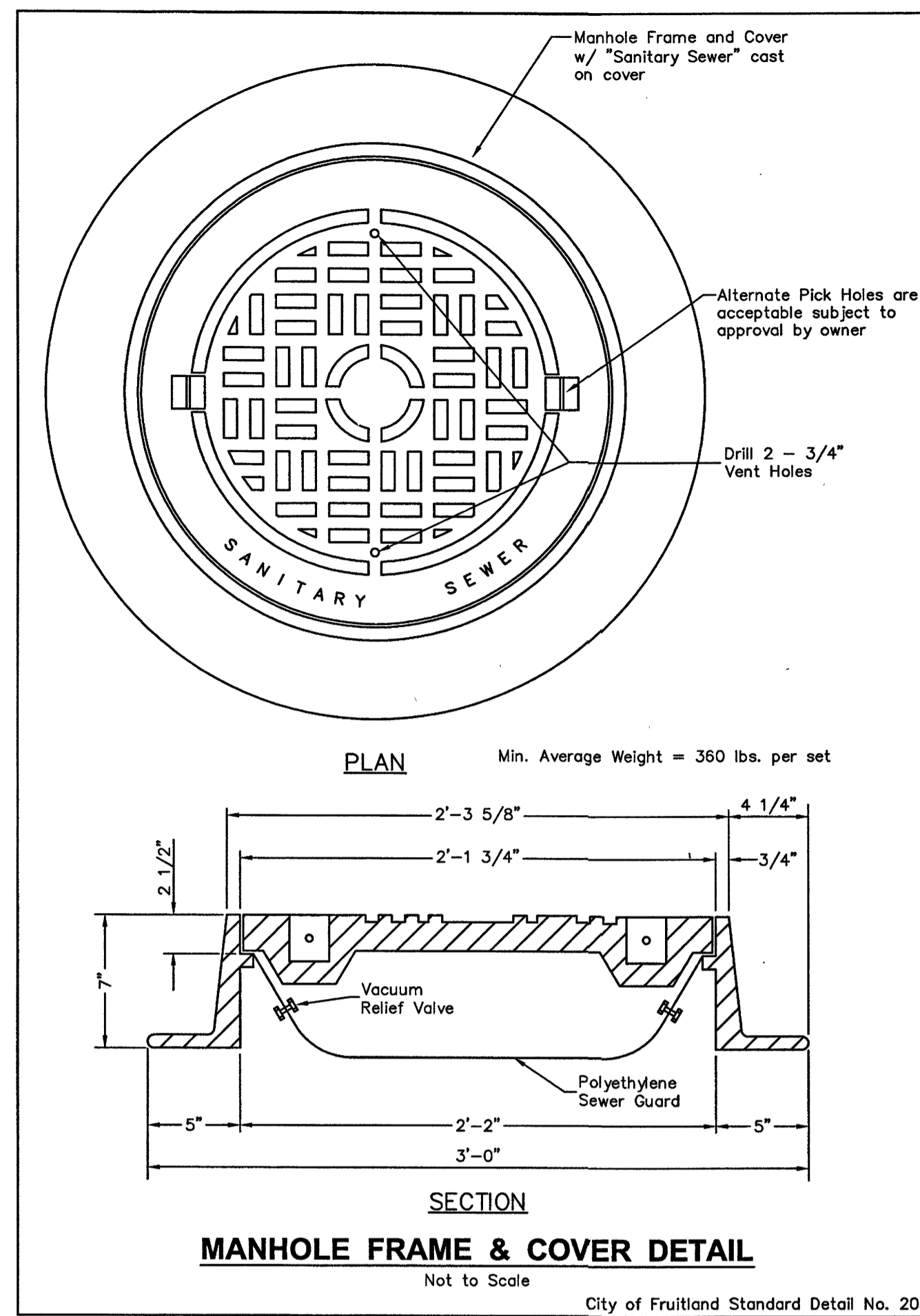
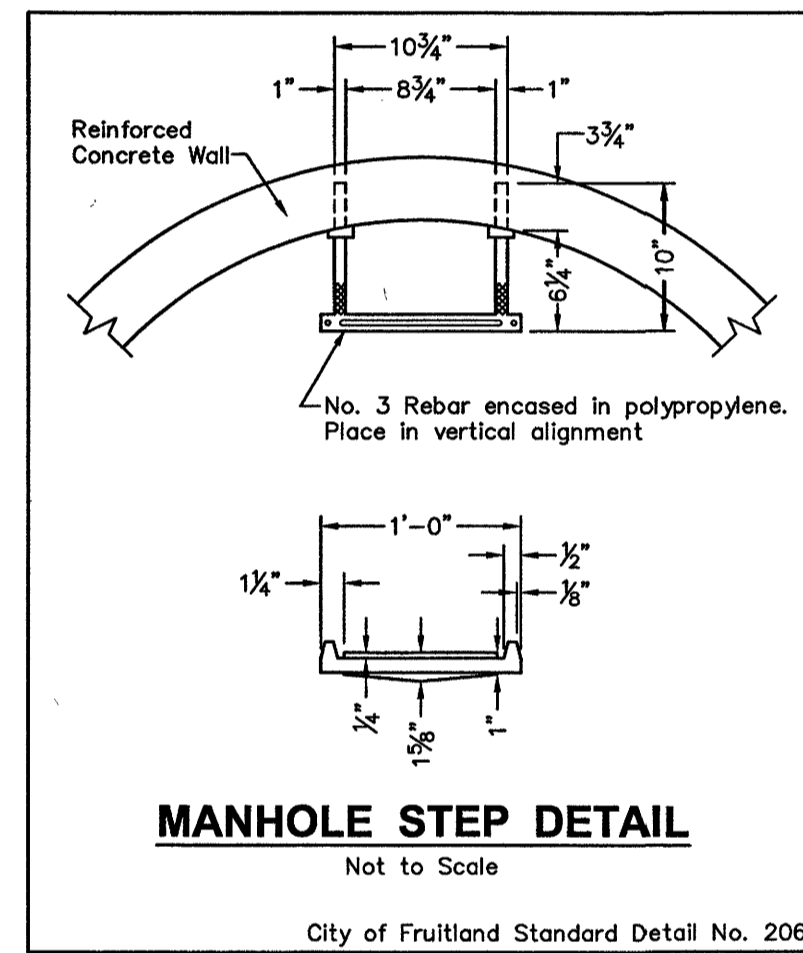
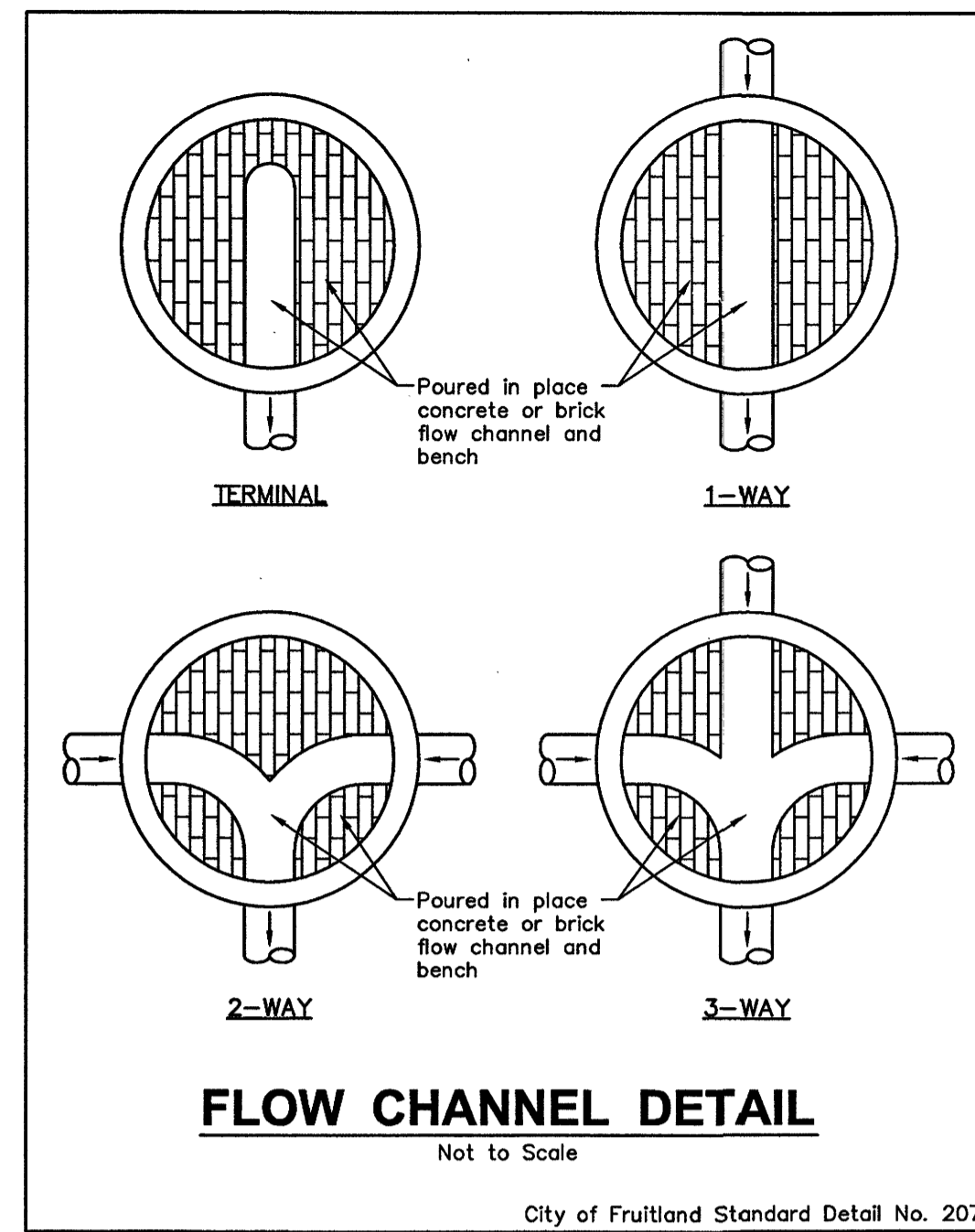
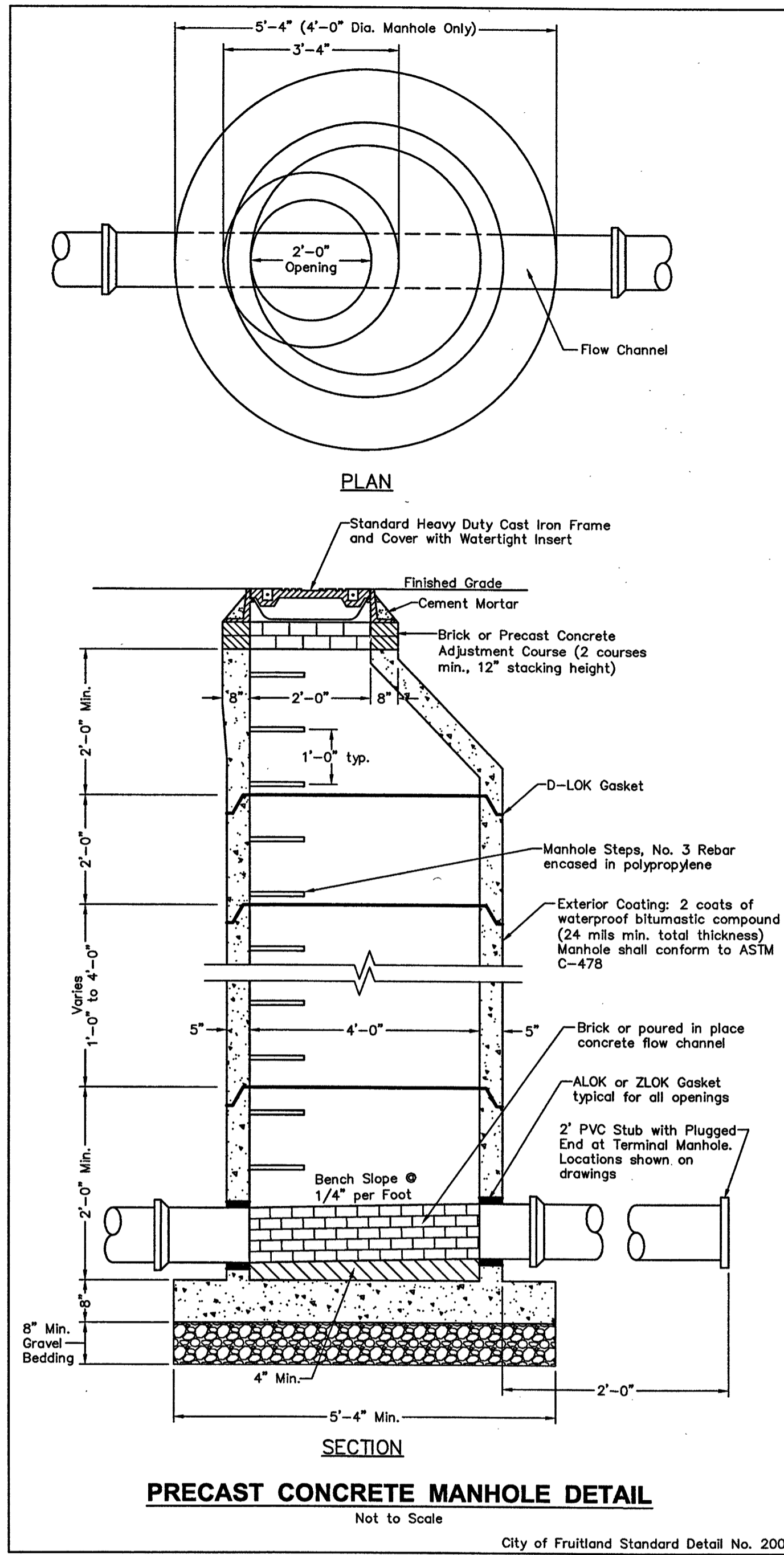


WATER & SEWER DETAILS

OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
 TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
 CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:		SCALE: N.T.S.		PROJECT NUMBER
		DRAWN BY: MPB		M22033
		DATE DRAWN: Aug. 2022		SHEET OF
		DESIGNED BY: GEY		WS-3
		CHECKED BY: GEY		
		CADD DWG. NAME: M22033 Camden Landing Water & Sewer		

Date Plotted: 12/18/2024



WATER & SEWER DETAILS

OF THE LANDS OF

CAMDEN DEVELOPMENT, LLC

TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:	SCALE: N.T.S.	PROJECT NUMBER: M22033
	DRAWN BY: MPB	SHEET OF: WS-4
	DATE DRAWN: Aug. 2022	
	DESIGNED BY: GEY	
	CHECKED BY: GEY	
	CADD DWG. NAME: M22033 Camden Landscaping Water & Sewer	
	PHONE: (410)-957-2149	
	FAX: (410)-957-2928	

ENGINEERS & SURVEYORS
1603 MARKET STREET
POCOMOKE MARYLAND 21851

PHONE: (410)-957-2149
FAX: (410)-957-2928

STATE OF MARYLAND
PROFESSIONAL ENGINEER

DATE PLOTTED: 12/18/2024

JUN 15 2025

APPROVED BY CITY OF FRUITLAND
BY: _____ DATE: _____

VICINITY MAP
SCALE: 1" = 1000'

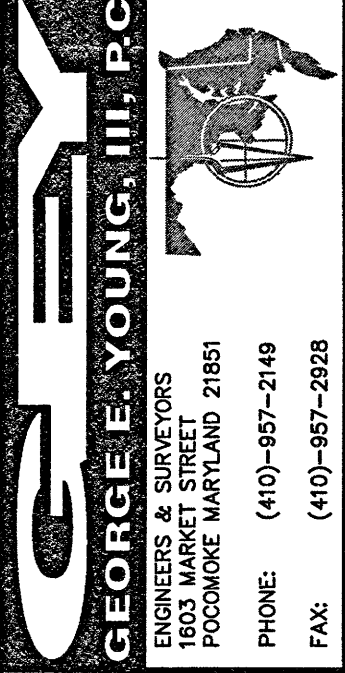
NOTE:
Submerged Gravel Wetland 3
to have a liner to maintain
submerged conditions.

SITE NOTES:

- OWNER/DEVELOPER:
Camden Development, LLC
1233 Mt. Hermon Road, Suite 48
Salisbury, MD 21804
- Tax Map 802, Grid 12, Parcel 1123-1126, 1128-1138, 1140-1143 & 1145
- Deed Ref: 5390/78
- Plat Ref: DT 205/1
- Zoned: F-R2
- Setbacks: Front = 25'
Side = 15' + 2.5' per unit over 2'
Rear = 35'
- By scaled map location and graphic plotting only, this property appears to lie within Zone X (Area determined to be outside of the City of Fruitland). The property owner is advised to verify this information with the City of Fruitland, Wicomico County, MD, Insurance Rate Map for City of Fruitland, Wicomico County, MD, Community Panel No. 2404500234E & 2404500235E, Effective Date August 17, 2015.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not lie within the Chesapeake Bay Critical Area.
- Based on the Maryland Environmental Resources and Land Information Network (MERLIN) this property does not appear to contain any wetlands.
- Water and sewer services to be provided by the City of Fruitland.
- Allocated Water/Wastewater Flow = 14,000 gpd
- No abstract title was provided prior to this survey.
- This survey was based on physical evidence and current plats of record.
- All utilities are underground or as shown on this survey.
- Horizontal datum is MD State Plane Coordinates, NAD 83
- Vertical datum is NOD BB.

STORMWATER MANAGEMENT & GRADING PLAN
OF THE LANDS OF

CAMDEN DEVELOPMENT, LLC
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND



PROJECT NUMBER: **M22033**
SHEET OF: **SWM-1**

SCALE: 1" = 50'
DRAWN BY: MPB
DATE DRAWN: Aug. 2022
DESIGNED BY: GEY
CHECKED BY: GEY
CADD DWG. NAME: M22033 Camden Landmg SWM

Date Plotted: 5/1/2025

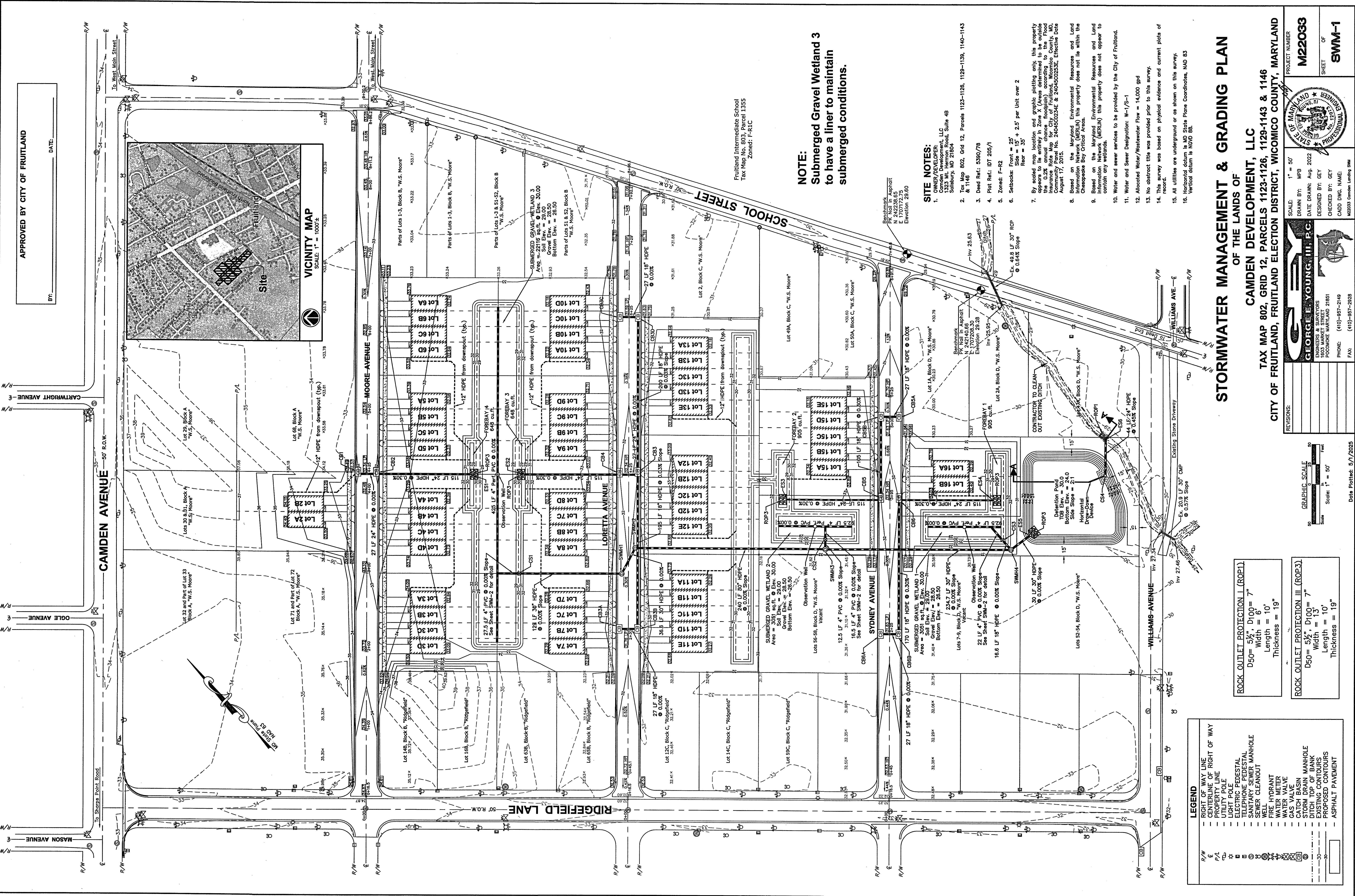
GRAPHIC SCALE
0 10 20 30 40 50
Feet
Scale: 1" = 50'

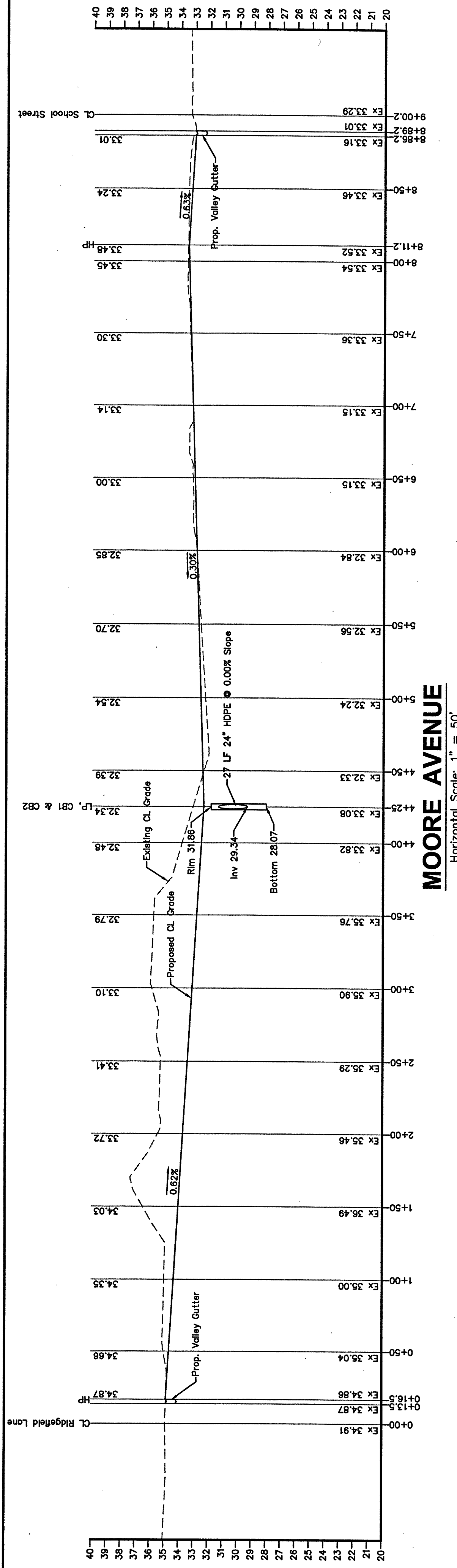
LEGEND

R/W	RIGHT OF WAY LINE
C	CENTERLINE OF RIGHT OF WAY
P/L	PROPERTY LINE
○	UTILITY POLE
○	LIGHT POLE
○	ELECTRIC PEDESTAL
○	TELEPHONE PEDESTAL
○	SANITARY SEWER MANHOLE
○	SEWER CLEANOUT
○	WELL HYDRANT
○	WATER METER
○	WATER VALVE
○	CATCH BASIN
○	STORM DRAIN MANHOLE
○	DITCH TOP OF BANK
○	EXISTING CONTOURS
○	PROPOSED CONTOURS
○	ASPHALT PAVEMENT

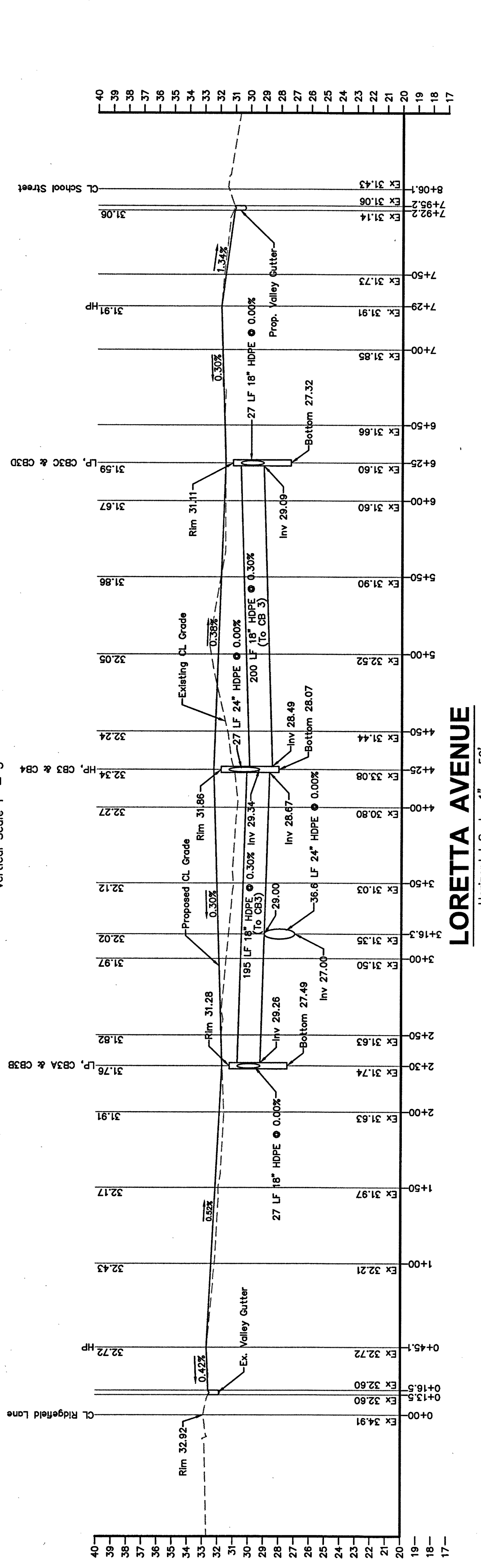
ROCK OUTLET PROJECTION I (ROP1)
D50 = 5 1/2", D100 = 7"
Width = 6"
Length = 10"
Thickness = 19"

ROCK OUTLET PROJECTION III (ROP3)
D50 = 5 1/2", D100 = 7"
Width = 13"
Length = 10"
Thickness = 19"

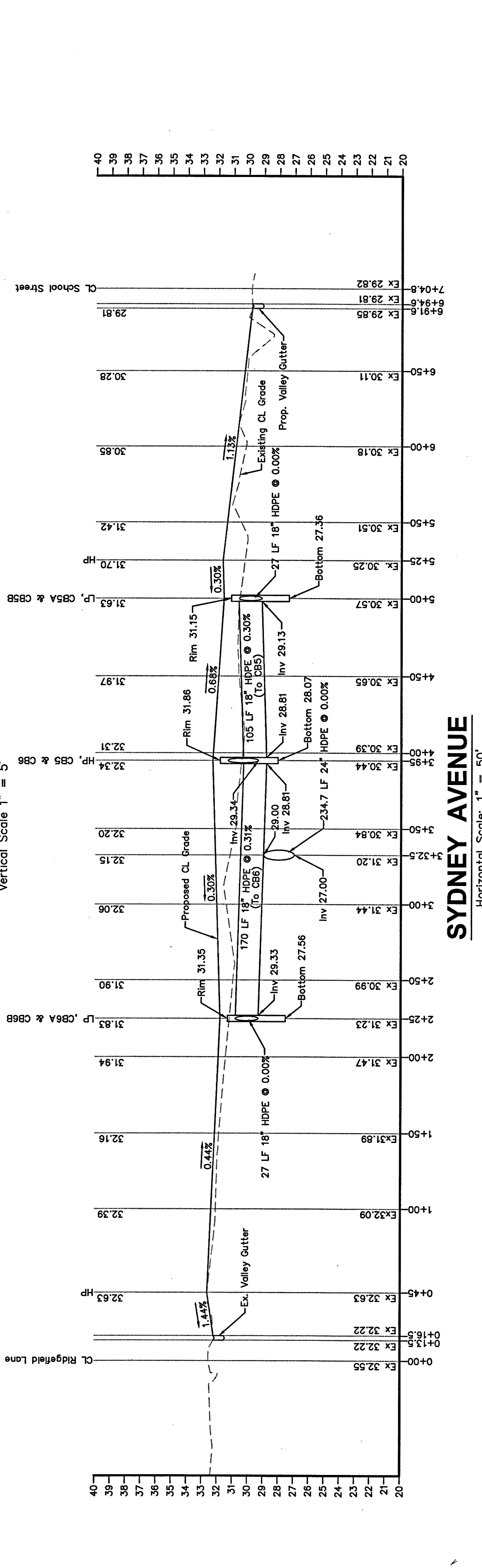




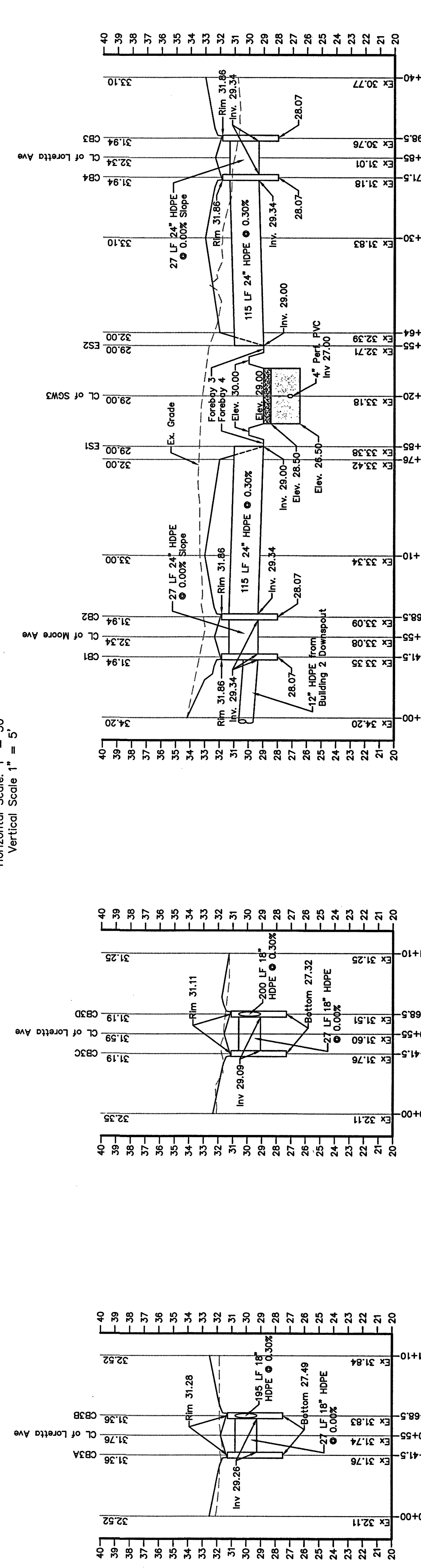
MOORE AVENUE
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'



LORETTA AVENUE
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'

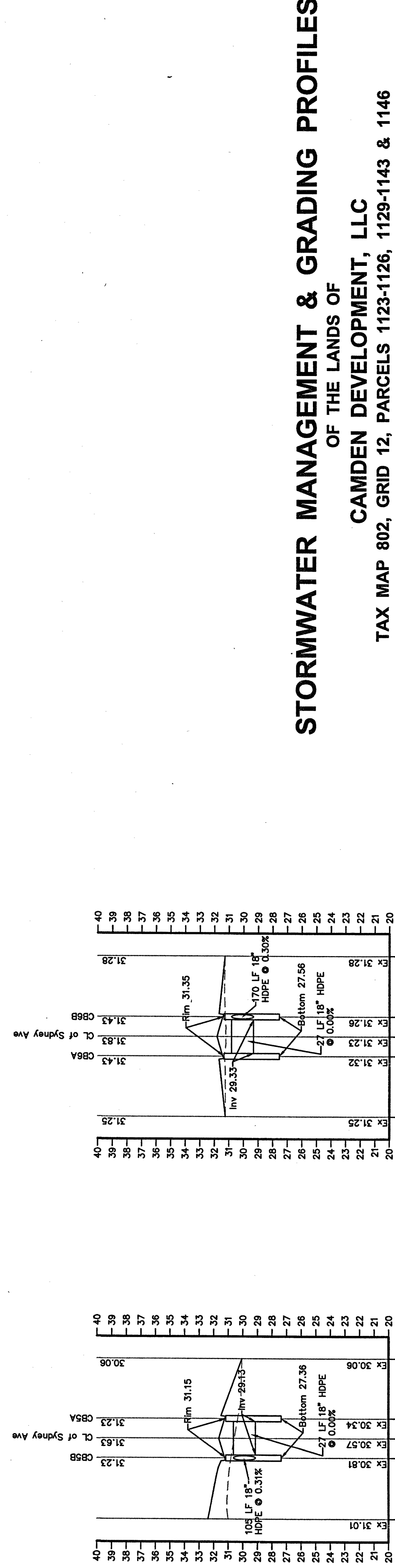


SYDNEY AVENUE
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'



Catch Basin 3A (CB3A) to Catch Basin 3B (CB3B)
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'

Catch Basin 1 (CB1) to End Section 1 (ES1) & Catch Basin 3 (CB3) to End Section 2 (ES2)
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'



Catch Basin 5A (CB5A) to Catch Basin 5B (CB5B)
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'

Catch Basin 6A (CB6A) to Catch Basin 6B (CB6B)
 Horizontal Scale: 1" = 50'
 Vertical Scale: 1" = 5'

STORMWATER MANAGEMENT & GRADING PROFILES
 OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
 TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
 CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:

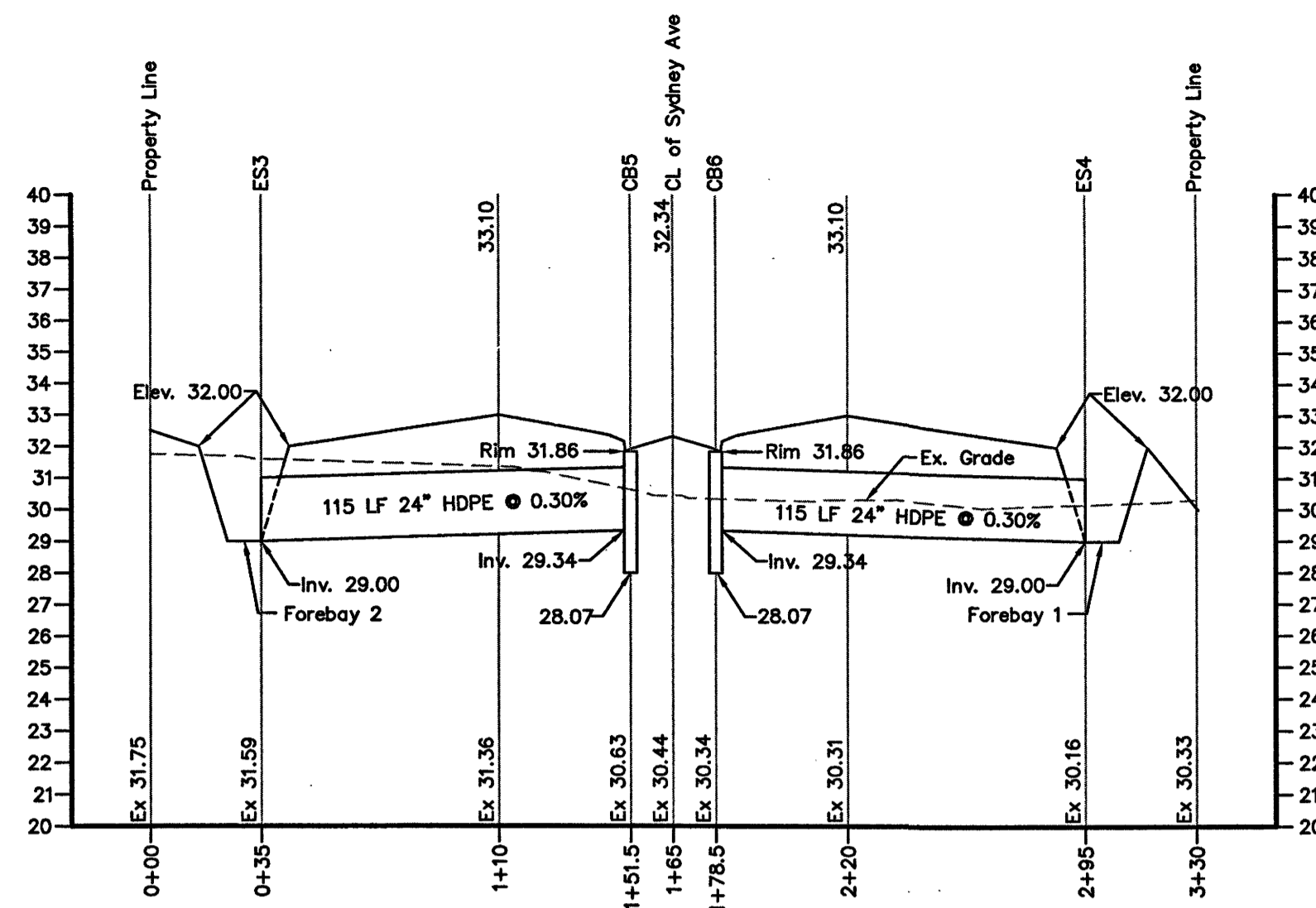
SCALE: 1" = 50'
 DRAWN BY: MPB
 DATE DRAWN: April 2025
 DESIGNED BY: GEY
 CHECKED BY: GEY
 CADD DWG. NAME: M22033 Camden Landings SWM

PROJECT NUMBER: **M22033**
 SHEET OF: **SWM-2**

GEORGE E. YOUNG, III, P.C.
 ENGINEER
 1000 W. WASHINGTON ST.
 FPOODMOKE, MARYLAND 21851
 PHONE: (410)-857-2149
 FAX: (410)-857-2828

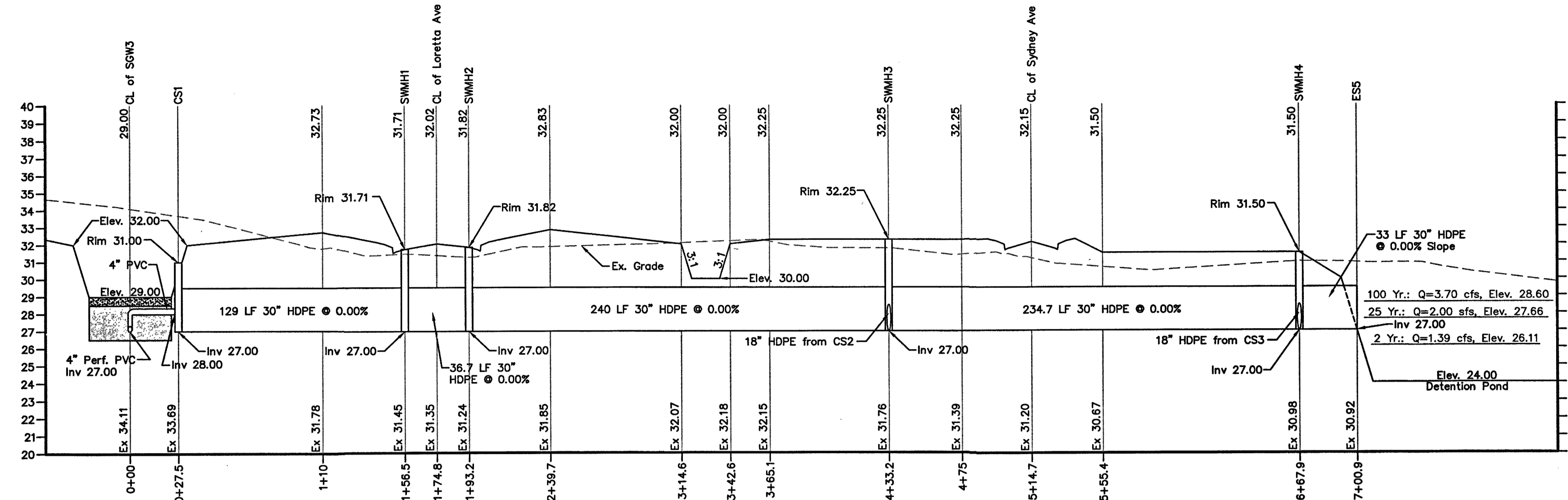
Date Plotted: 5/1/2025

JUN 0 5 2025



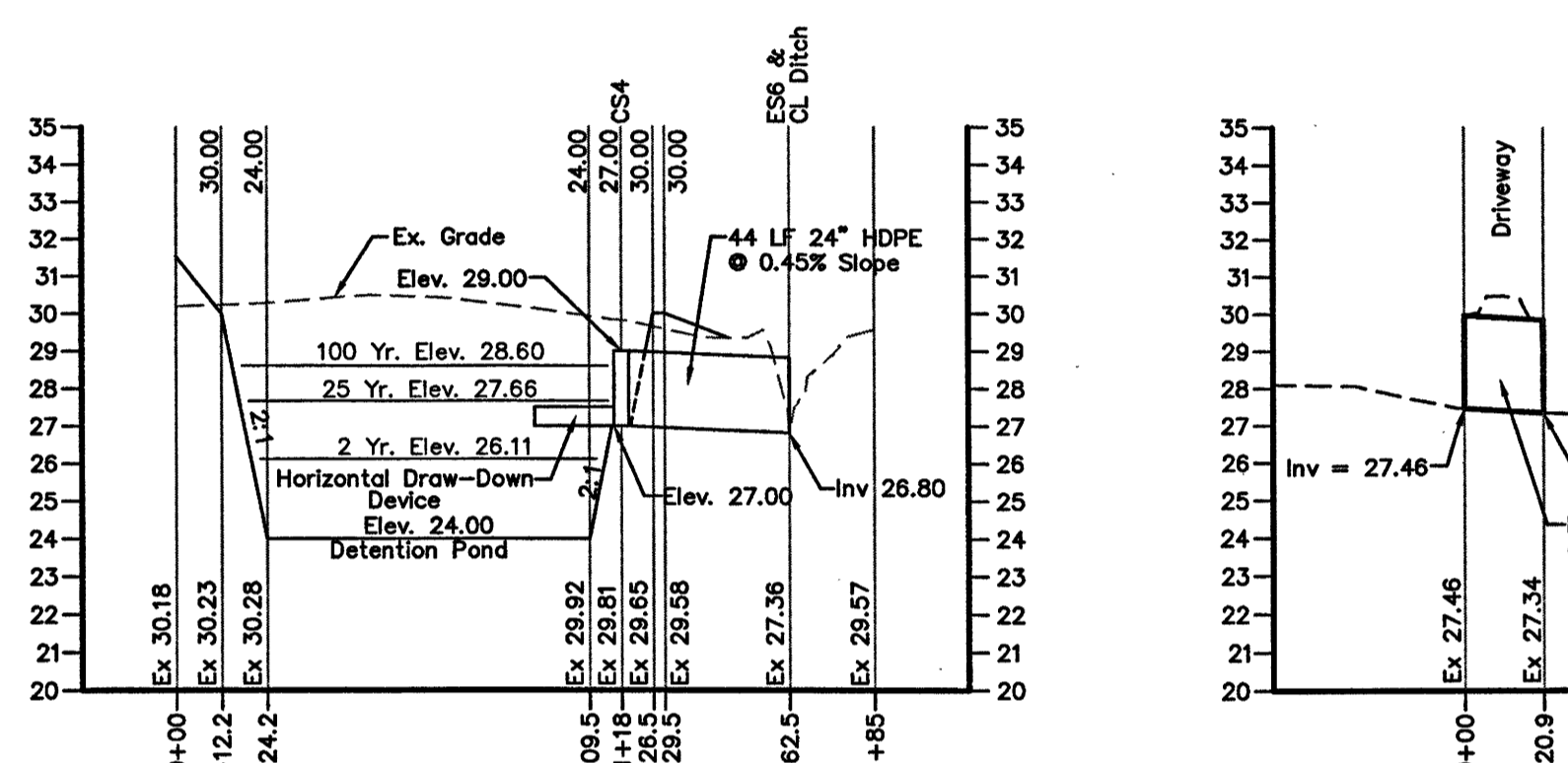
Catch Basin 5 (CB5) to End Section 3 (ES3) & Catch Basin 6 (CB6) to End Section 4 (ES4)

Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



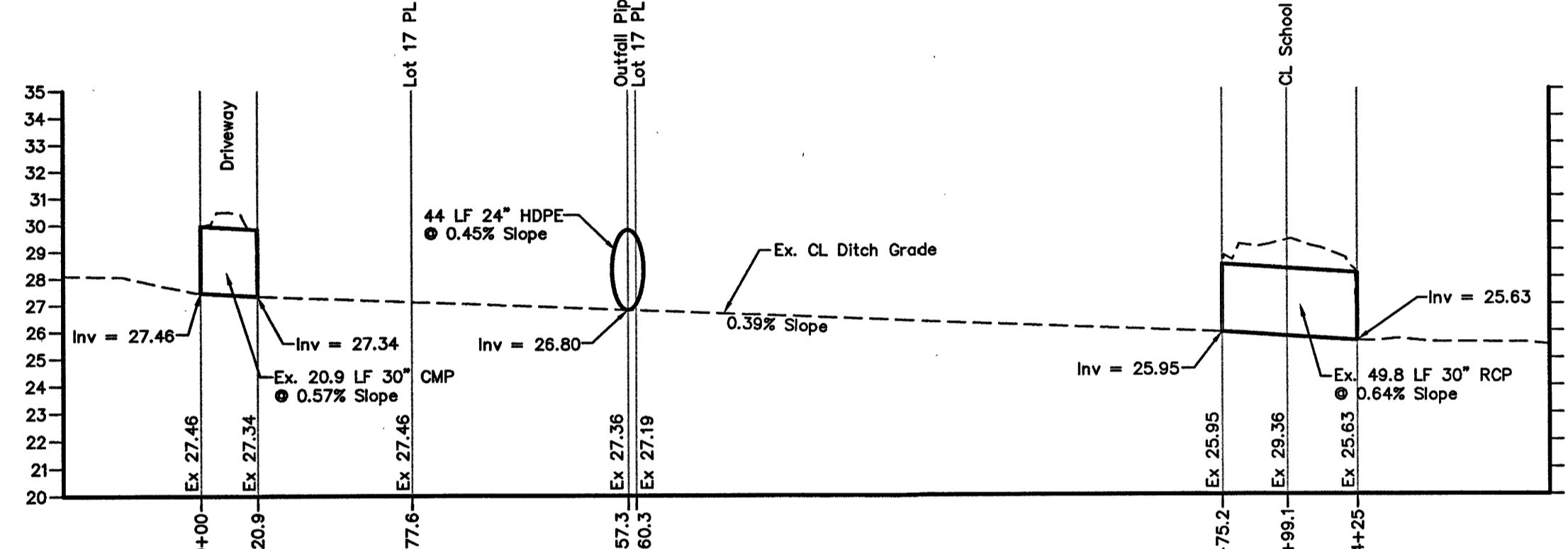
Submerged Gravel Wetland 3 (SGW3) to Detention Pond

Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



**Section A-A
Detention Pond & Oufall**

Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

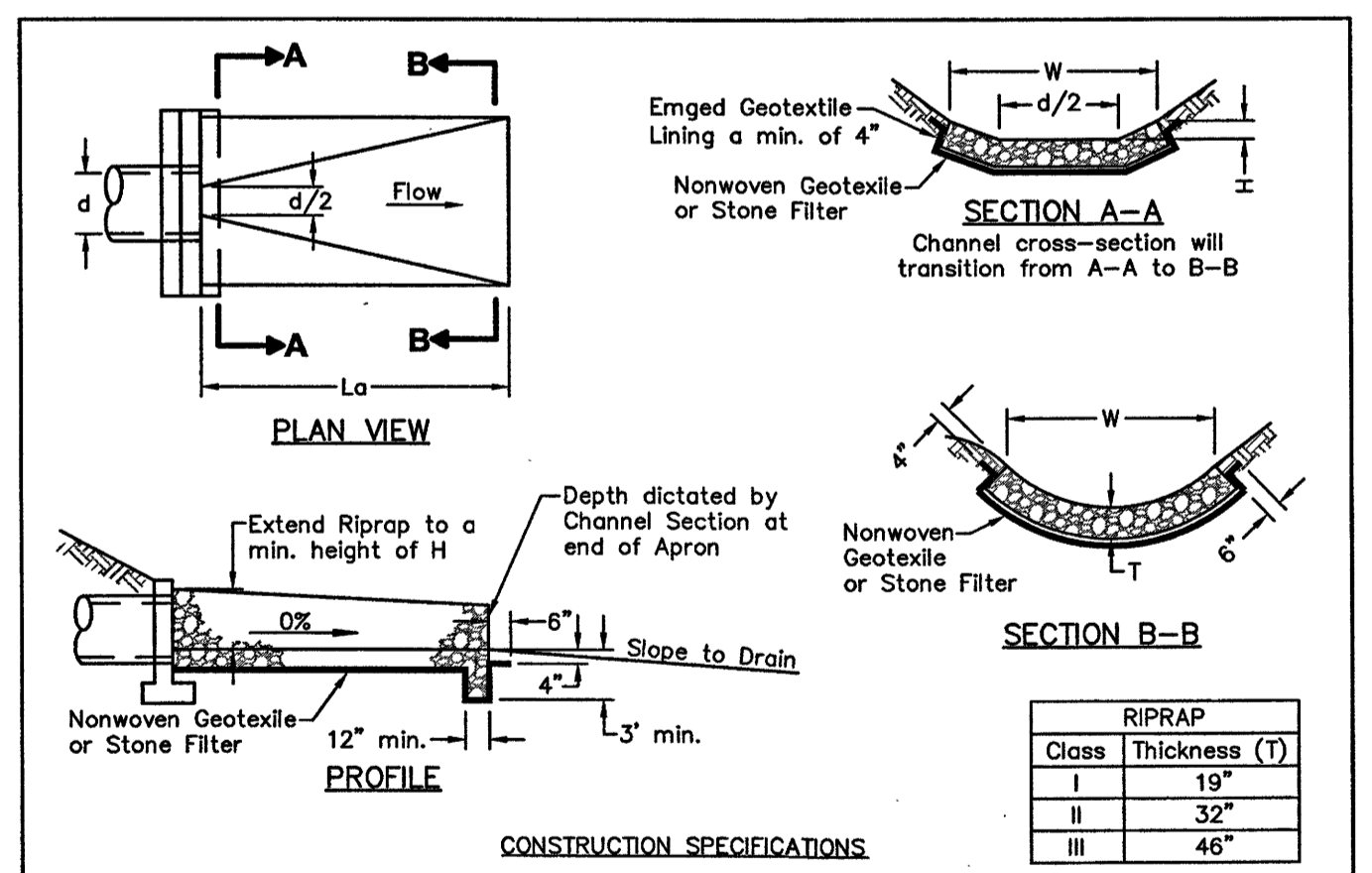


Existing Ditch Section

Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

STORMWATER STRUCTURE SCHEDULE						
DESIGNATION	STRUCTURE	RIM	INV IN	INV IN	INV OUT	SUMP
CB1	Precast WR Inlet, MD-374.21	31.86	29.34	---	29.34	28.07
CB2	Precast WR Inlet, MD-374.21	31.86	29.34	---	29.34	28.07
ES1	Flared End Section, MD-370.01	---	---	---	29.00	---
CB3	Precast WR Inlet, MD-374.21	31.86	28.67	28.49	29.34	28.07
CB3A	Precast WR Inlet, MD-374.21	31.28	---	---	29.26	27.49
CB3B	Precast WR Inlet, MD-374.21	31.28	29.26	---	29.26	27.49
CB3C	Precast WR Inlet, MD-374.21	31.11	---	---	29.09	27.32
CB3D	Precast WR Inlet, MD-374.21	31.11	29.09	---	29.09	27.32
CB4	Precast WR Inlet, MD-374.21	31.86	29.34	---	29.34	28.07
ES2	Flared End Section, MD-370.01	---	---	---	29.00	---
CB5	Precast WR Inlet, MD-374.21	31.86	28.81	---	29.34	28.07
CB5A	Precast WR Inlet, MD-374.21	31.15	---	---	29.13	27.36
CB5B	Precast WR Inlet, MD-374.21	31.15	29.13	---	29.13	27.36
ES3	Flared End Section, MD-370.01	---	---	---	29.00	---
CB6	Precast WR Inlet, MD-374.21	31.86	28.81	---	29.34	28.07
CB6A	Precast WR Inlet, MD-374.21	31.35	---	---	29.33	27.56
CB6B	Precast WR Inlet, MD-374.21	31.35	29.33	---	29.33	27.56
ES4	Flared End Section, MD-370.01	---	---	---	29.00	---
CS1	SGW Control Structure	31.00	28.00	---	27.00	---
SWMH1	Stormwater Manhole, WI-384.03	31.71	27.00	27.00	27.00	---
SWMH2	Stormwater Manhole, WI-384.03	31.82	27.00	27.00	27.00	---
SWMH3	Stormwater Manhole, WI-384.03	32.25	27.00	27.00	27.00	---
SWMH4	Stormwater Manhole, WI-384.03	31.50	27.00	27.00	27.00	---
ES5	Flared End Section, MD-370.01	---	---	---	27.00	---
CS2	SGW Control Structure	31.00	28.00	---	27.00	---
CS3	SGW Control Structure	31.00	28.00	---	27.00	---
CS4	Control Structure, G-2-2, G-2-6	29.00	---	---	27.00	---
ES6	Flared End Section, MD-370.01	---	---	---	26.80	---

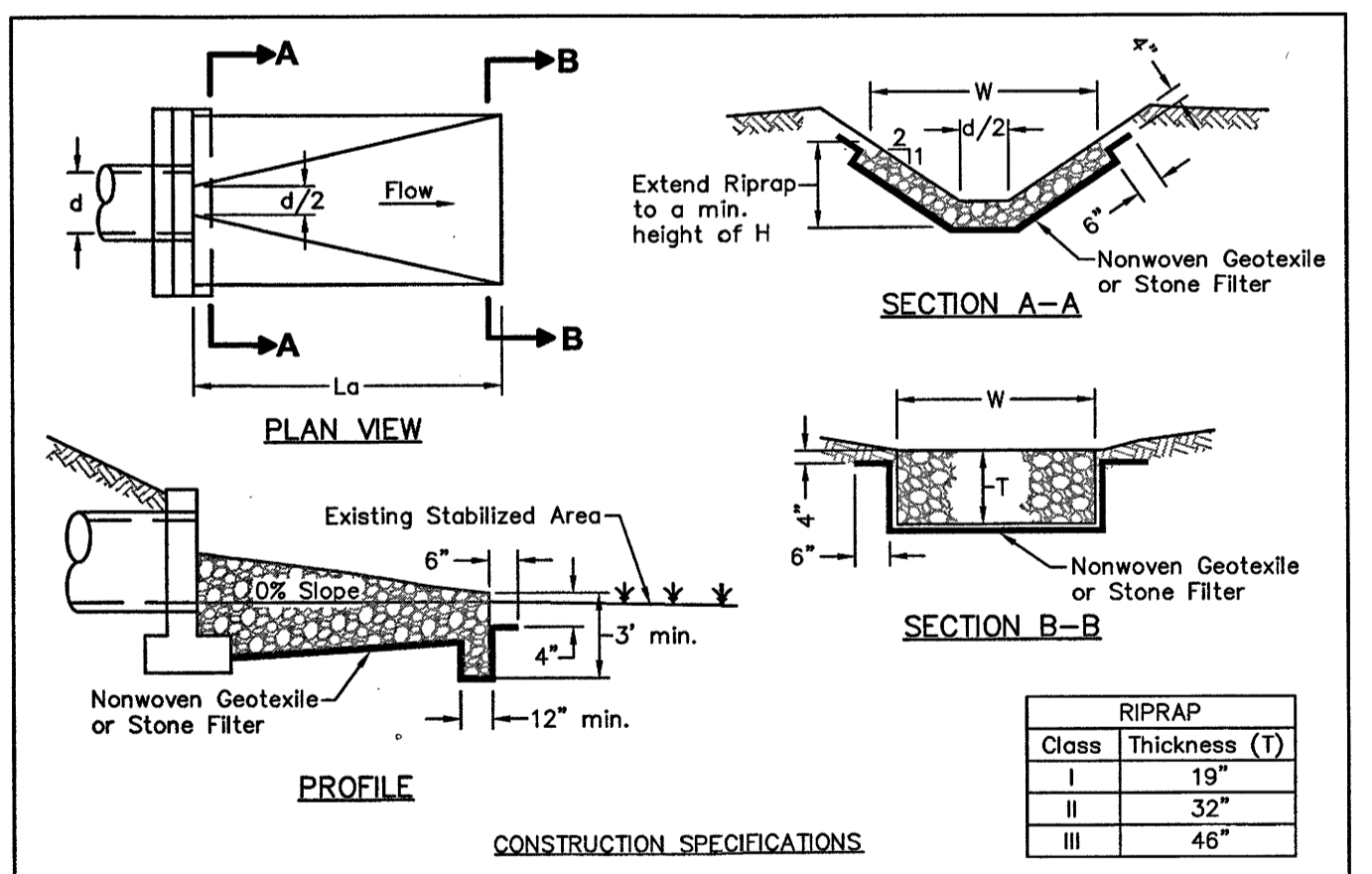
STORMWATER PIPE SCHEDULE						
PIPE	DIA. inches	TYPE	LENGTH feet	INV IN	INV OUT	Slope
CB1 TO ES1						
CB1 to CB2	24	HDPE	27.0	29.34	29.34	0.00%
CB2 to ES1	24	HDPE	115.0	29.34	29.00	0.30%
CB3A TO ES2						
CB3A to CB3B	18	HDPE	27.0	29.26	29.26	0.00%
CB3B to CB3	18	HDPE	195.0	29.26	28.67	0.30%
CB3C to CB3D	18	HDPE	27.0	29.09	29.09	0.00%
CB3D to CB3	18	HDPE	200.0	29.09	28.49	0.30%
CB3 to CB4	24	HDPE	27.0	29.34	29.34	0.00%
CB4 to ES2	24	HDPE	115.0	29.34	29.00	0.30%
CB5A TO ES3						
CB5A to CB5B	18	HDPE	27.0	29.13	29.13	0.00%
CB5B to CB5	18	HDPE	105.0	29.13	28.81	0.30%
CB5 to ES3	24	HDPE	115.0	29.34	29.00	0.30%
CB6A TO ES4						
CB6A to CB6B	18	HDPE	27.0	29.33	29.33	0.00%
CB6B to CB6	18	HDPE	170.0	29.33	28.81	0.31%
CB6 to ES4	24	HDPE	115.0	29.34	29.00	0.30%
CS1 TO ES5						
CS1 to SWMH1	30	HDPE	129	27.00	27.00	0.00%
SWMH1 to SWMH2	30	HDPE	36.6	27.00	27.00	0.00%
SWMH2 to SWMH3	30	HDPE	240.0	27.00	27.00	0.00%
SWMH3 to SWMH4	30	HDPE	234.7	27.00	27.00	0.00%
SWMH4 to ES5	30	HDPE	30.0	27.00	27.00	0.00%
CS4 TO ES6						
CS4 to ES6	24	HDPE	44.0	27.00	26.80	0.45%
SUBMERGED GRAVEL WETLANDS						
SGW1 Underdrain	4 Perf.	PVC	92.5	27.00	27.00	0.00%
SGW2 Underdrain	4 Perf.	PVC	92.5	27.00	27.00	0.00%
SGW3 Underdrain	4 Perf.	PVC	425.0	27.00	27.00	0.00%
SGW1 to CS1						
SGW1 to CS1	4	PVC	See Sheet SWM-5 for detail			
SGW2 to CS2						
SGW2 to CS2	4	PVC	See Sheet SWM-5 for detail			
CS2 to SWMH3						
CS2 to SWMH3	18	HDPE	12.5	27.00	27.00	0.00%
SGW3 to CS3						
SGW3 to CS3	4	PVC	See Sheet SWM-5 for detail			
CS3 to SWMH4						
CS3 to SWMH4	18	HDPE	16.6	27.00	27.00	0.00%
DETENTION POND						
Draw-Down Device	6	PVC	20.0	27.00	27.00	0.00%
CS4 to ES6	24	HDPE	44.0	27.00	26.80	0.45%



CONSTRUCTION SPECIFICATIONS

- Riprap and stone must conform to the specified class.
- Use nonwoven geotextile as specified in Section H-1 Materials, and protect from puncturing, cutting or tearing, repair any damage other than an occasional small hole by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. Provided a minimum of one foot overlap for all repairs and for joining two pieces of geotextile together.
- Prepare the subgrade for the geotextile or stone filter (3/8 to 1 1/2 inch stone for 6 inch minimum depth) and riprap to the required lines and grades. Compact any fill required in the subgrade to a density of approximately that of surrounding undisturbed material.
- Extend geotextile at least 6 inches beyond edges of riprap and embed at least 4 inches at sides of riprap.
- Construct riprap outlet to full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. Place stone for riprap outlet in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between larger stones. Place riprap in a manner to prevent damage to the stone filter blanket or geotextile. Hand place to the extent necessary.
- Where no endwall is used, construct the upstream end of the apron so that the width is two times the diameter of the outlet pipe, and extend the stone under the outlet by a minimum of 18 inches.
- Construct apron with 0% slope along its length and without obstructions. Place stone so that it blends in with existing ground.
- Maintain line, grade and cross section. Keep outlet free of erosion. Remove accumulated sediment and debris. After high flows inspect for scour and dislodged riprap. Make necessary repairs immediately.

ROCK OUTLET PROTECTION I
(0-4-1-A)
N.T.S. Discharge to semi confined channel section



CONSTRUCTION SPECIFICATIONS

- Riprap and stone must conform to the specified class.
- Use nonwoven geotextile as specified in Section H-1 Materials, and protect from puncturing, cutting or tearing, repair any damage other than an occasional small hole by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. Provided a minimum of one foot overlap for all repairs and for joining two pieces of geotextile together.
- Prepare the subgrade for the geotextile or stone filter (3/8 to 1 1/2 inch stone for 6 inch minimum depth) and riprap to the required lines and grades. Compact any fill required in the subgrade to a density of approximately that of surrounding undisturbed material.
- Extend geotextile at least 6 inches beyond edges of riprap and embed at least 4 inches at sides of riprap.
- Construct riprap outlet to full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. Place stone for riprap outlet in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between larger stones. Place riprap in a manner to prevent damage to the stone filter blanket or geotextile. Hand place to the extent necessary.
- Where no endwall is used, construct the upstream end of the apron so that the width is two times the diameter of the outlet pipe, and extend the stone under the outlet by a minimum of 18 inches.
- Construct apron with 0% slope along its length and without obstructions. Place stone so that it blends in with existing ground.
- Maintain line, grade and cross section. Keep outlet free of erosion. Remove accumulated sediment and debris. After high flows inspect for scour and dislodged riprap. Make necessary repairs immediately.

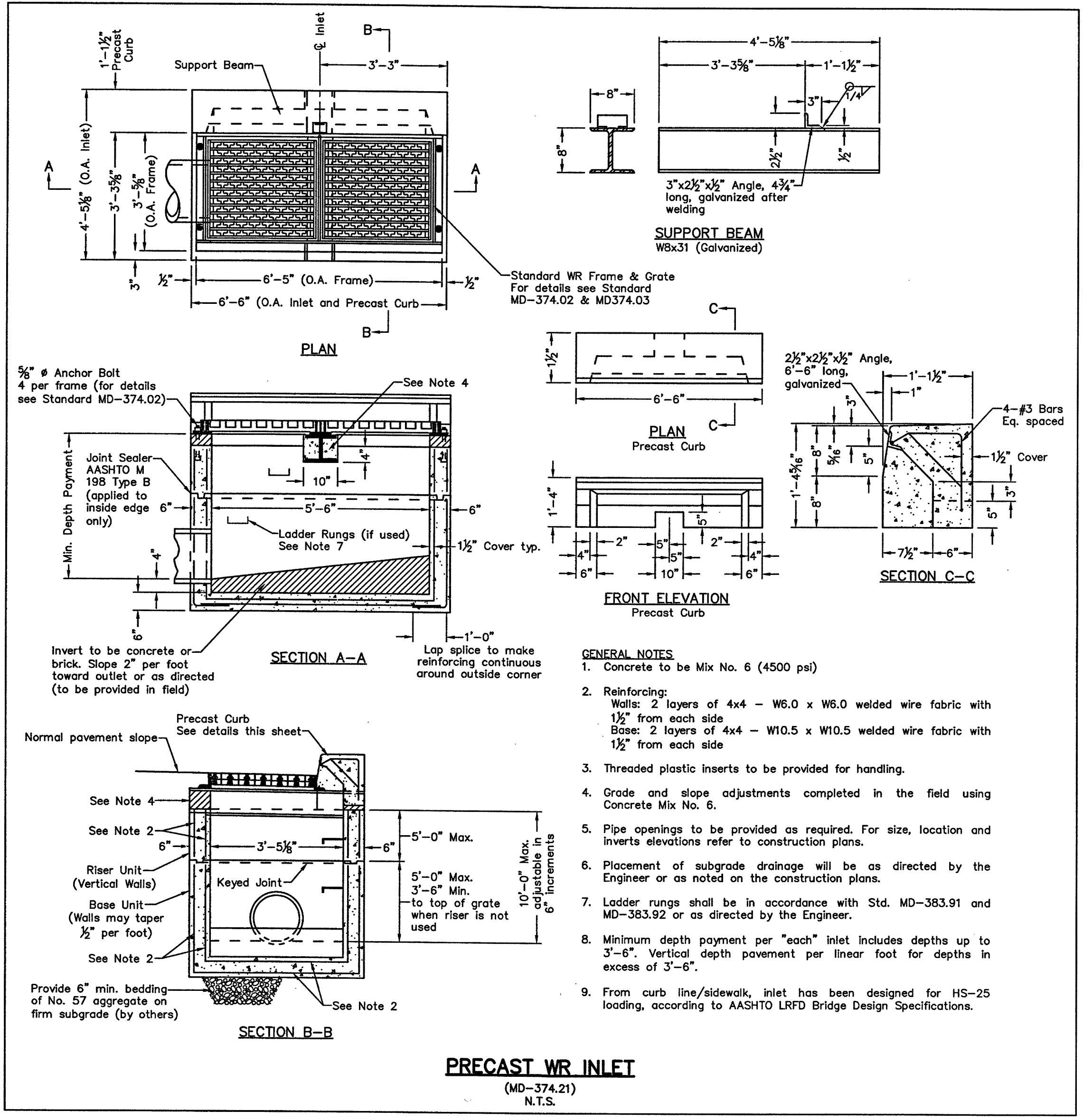
ROCK OUTLET PROTECTION III
(0-4-1-C)
N.T.S. Discharge to unconfined channel or flat area

STORMWATER MANAGEMENT PROFILES

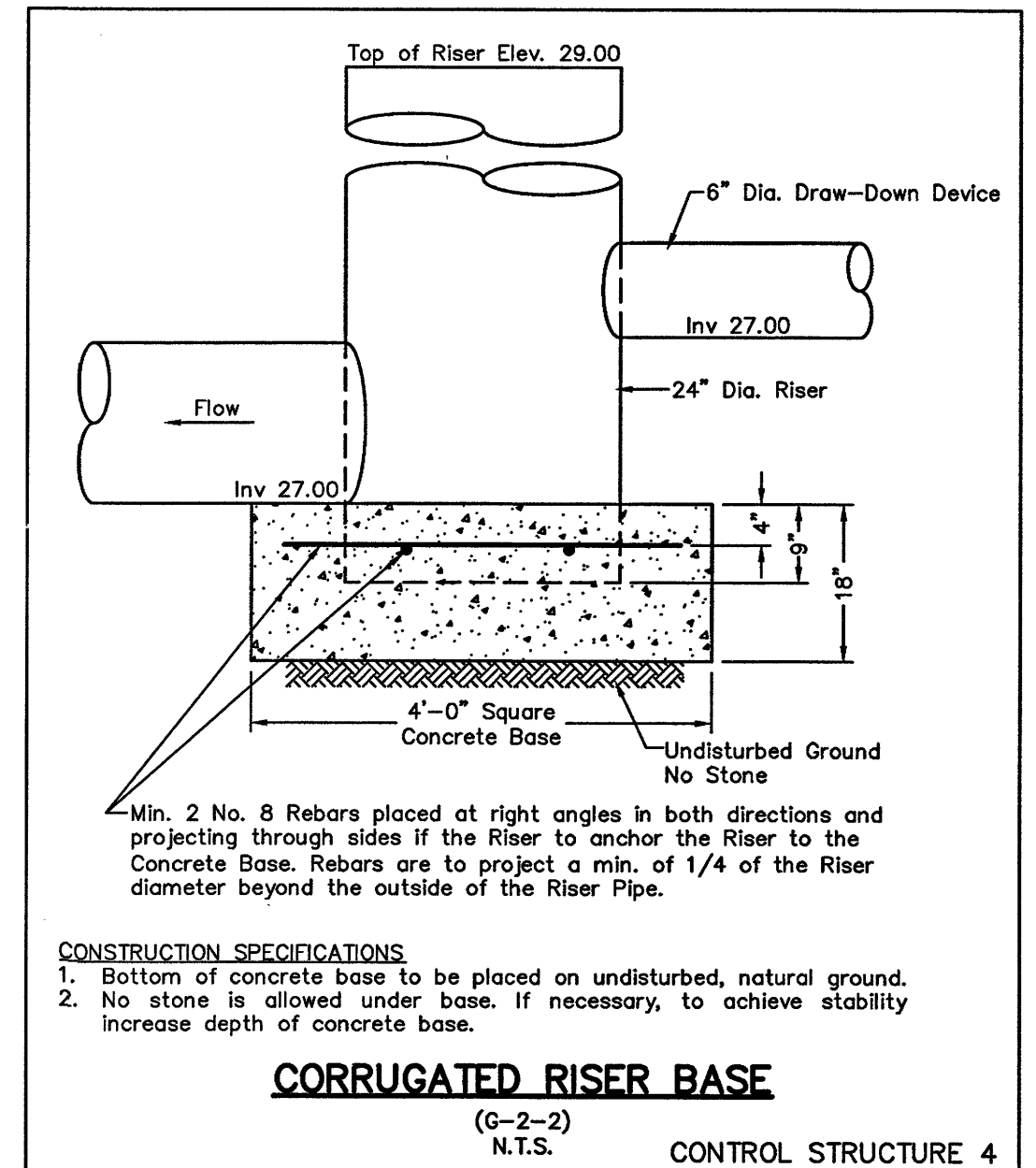
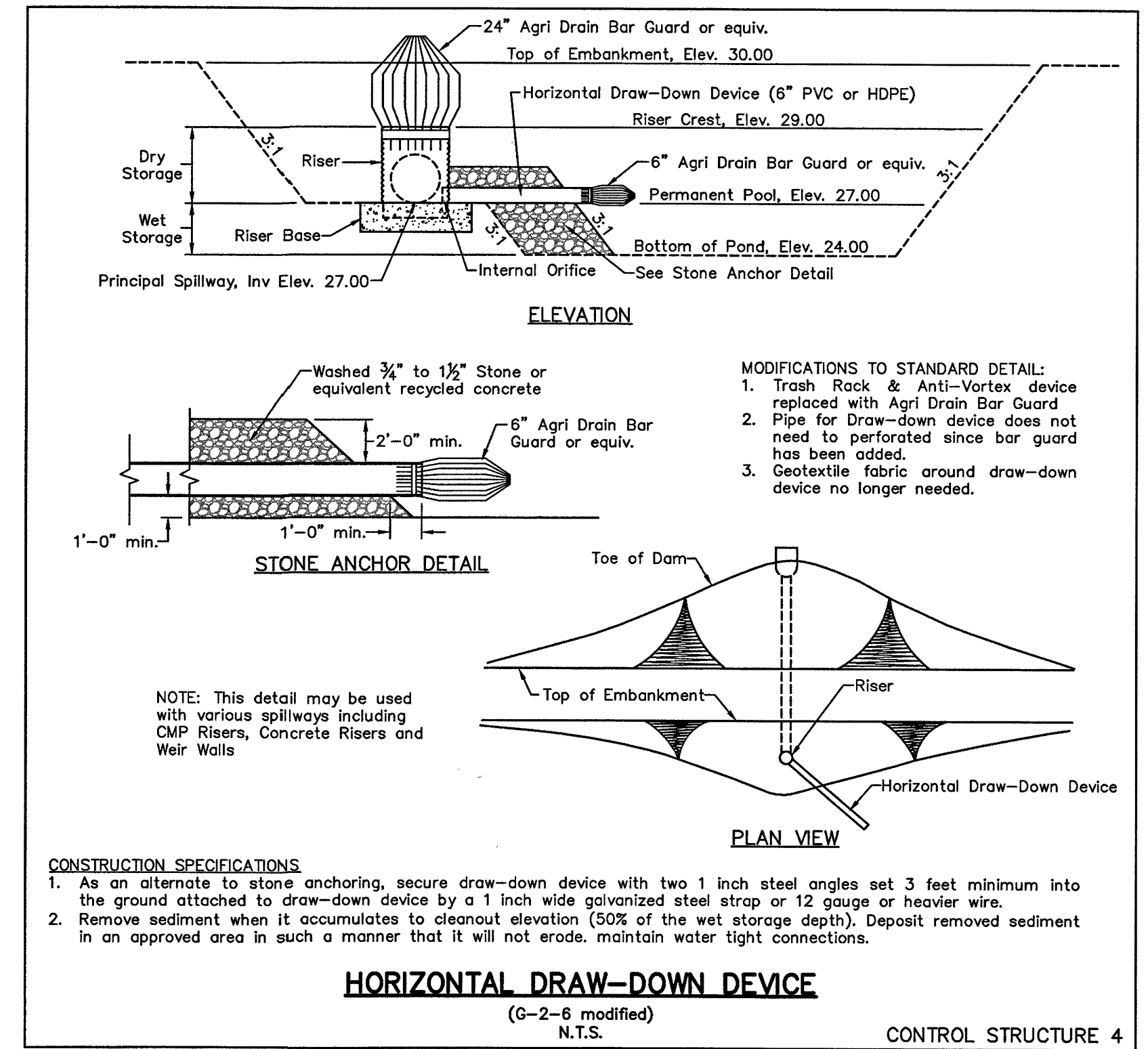
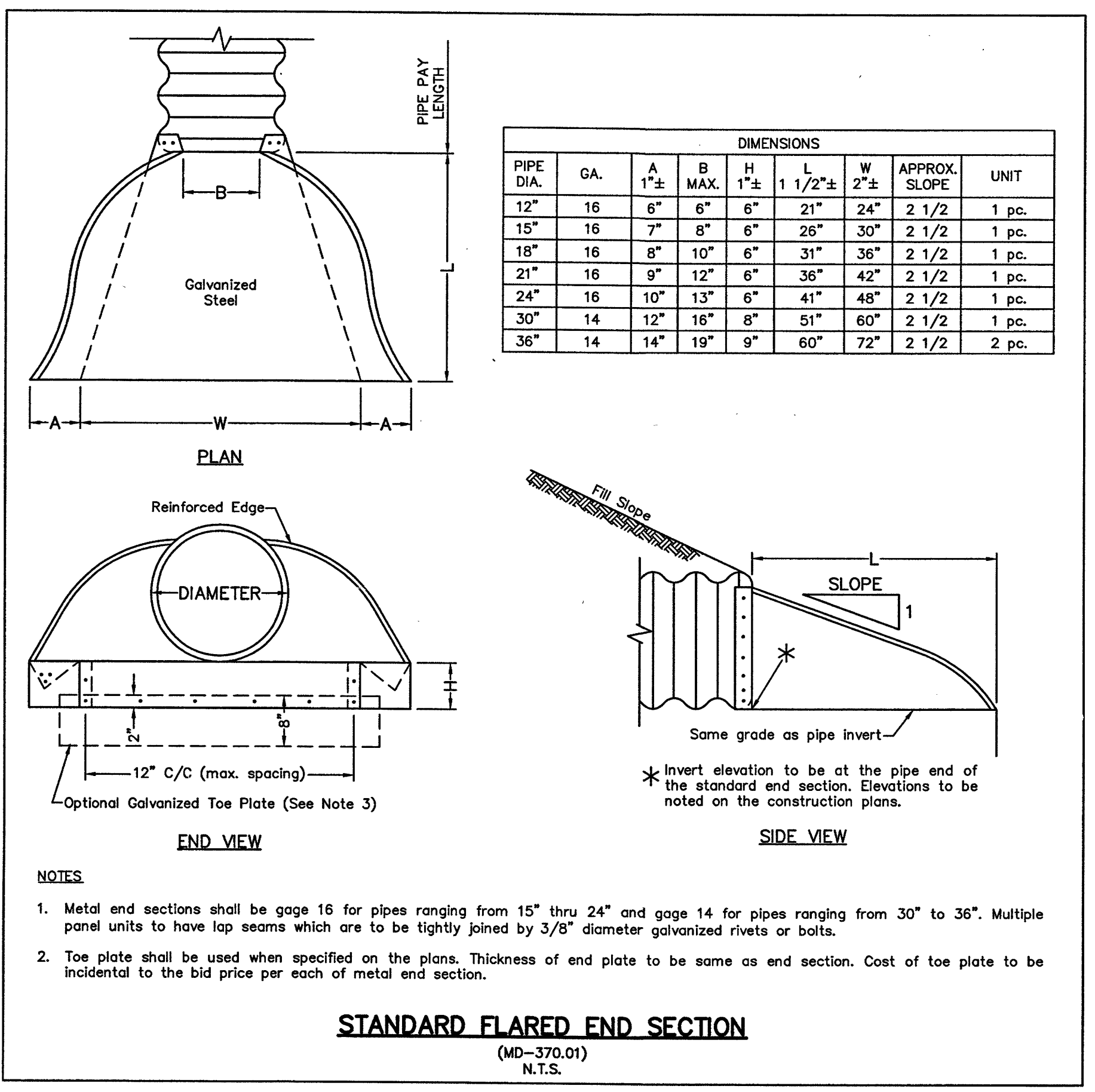
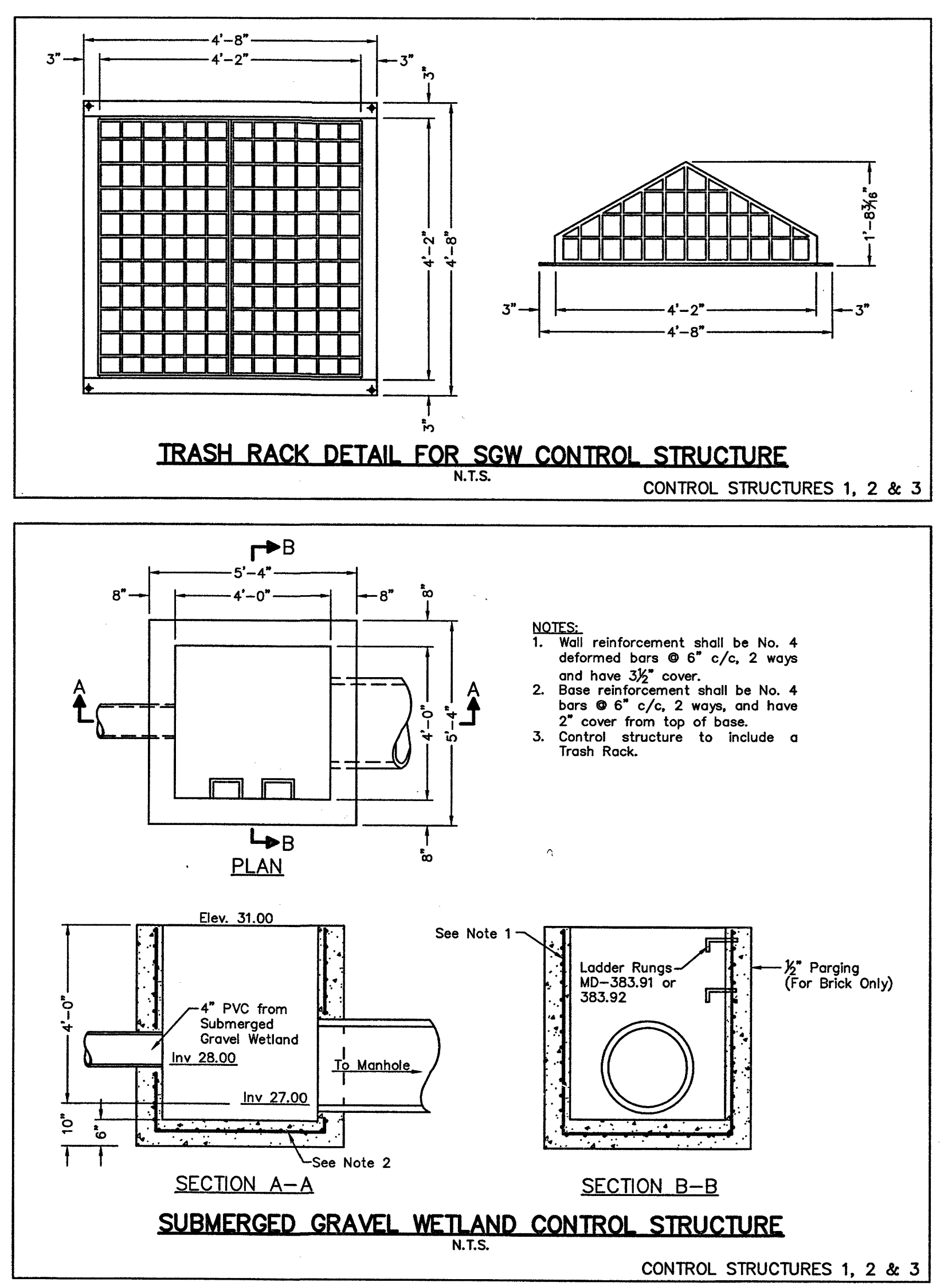
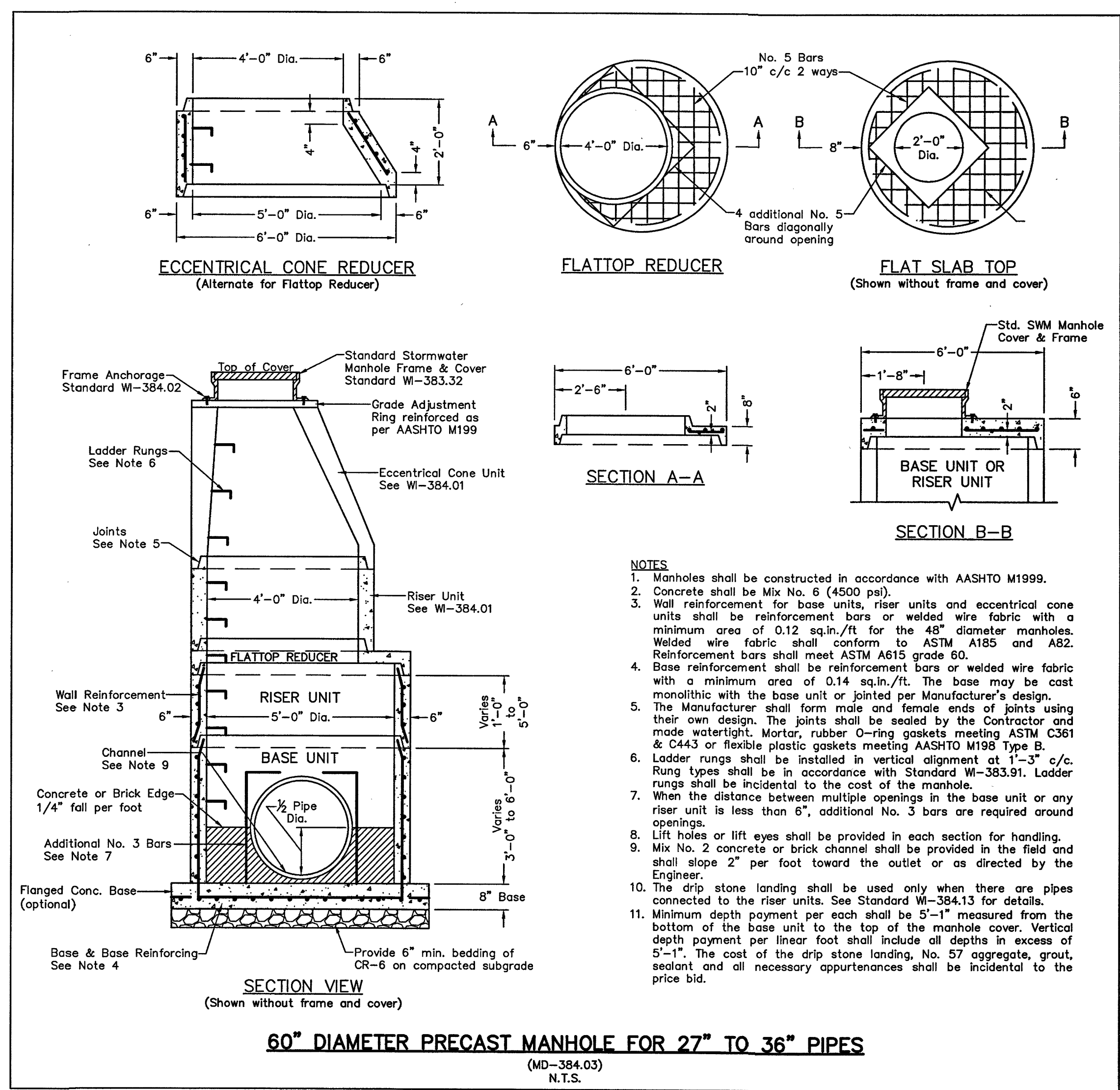
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC

TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:	GEY GEORGE E. YOUNG, III, P.C. ENGINEERS & SURVEYORS 1603 MARKET STREET POCOMOKE MARYLAND 21851 PHONE: (410)-957-2149 FAX: (410)-957-2928	SCALE: N.T.S. DRAWN BY: MPB DATE DRAWN: Aug. 2022 DESIGNED BY: GEY CHECKED BY: GEY CADD DWG. NAME: M22033 Camden Landing SWM	PROJECT NUMBER M22033 SHEET OF SWM-3
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PRECAST WR INLET
(MD-374.21)
N.T.S.



STORMWATER MANAGEMENT DETAILS
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:

GEY
GEORGE E. YOUNG, III, P.C.
ENGINEERS & SURVEYORS
1603 MARKET STREET
POCOMOKE MARYLAND 21851

SCALE: N.T.S.
DRAWN BY: MPB
DATE DRAWN: Aug. 2022
DESIGNED BY: GEY
CHECKED BY: GEY
CADD DWG. NAME: M22033 Camden Landing SWM

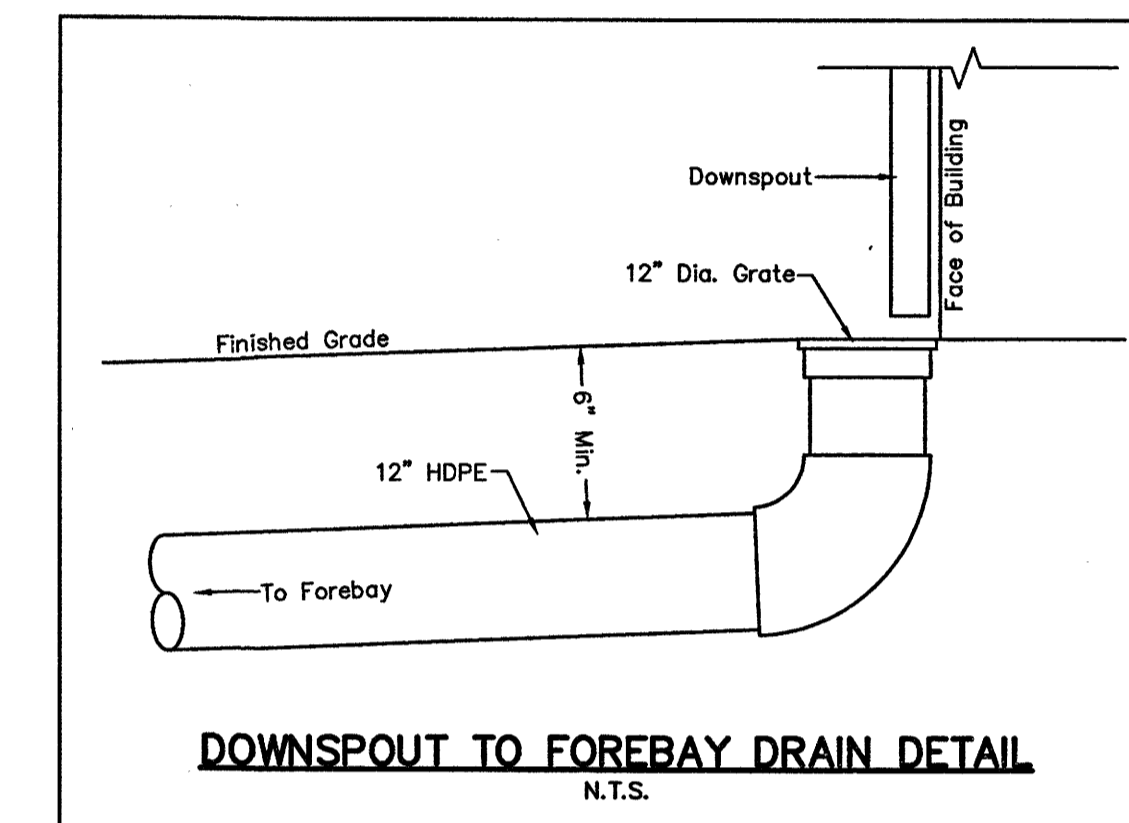
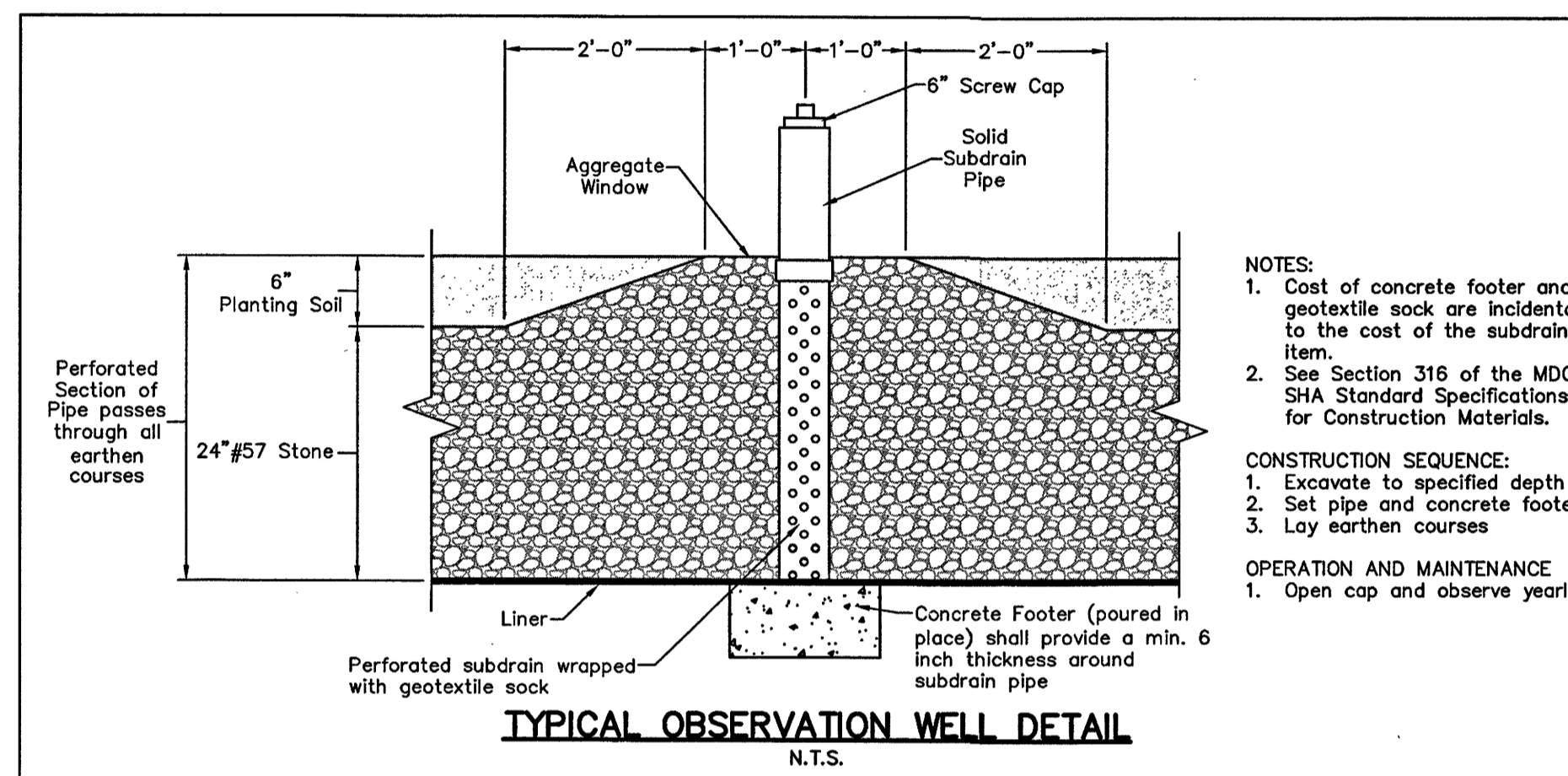
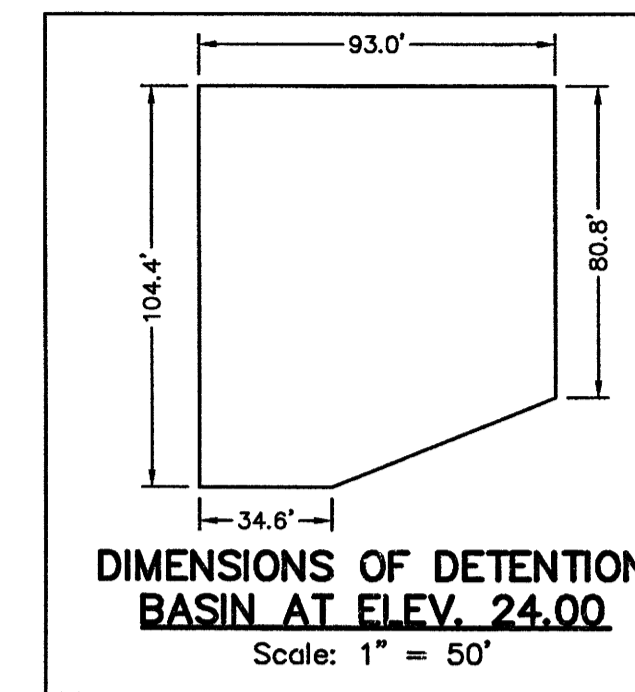
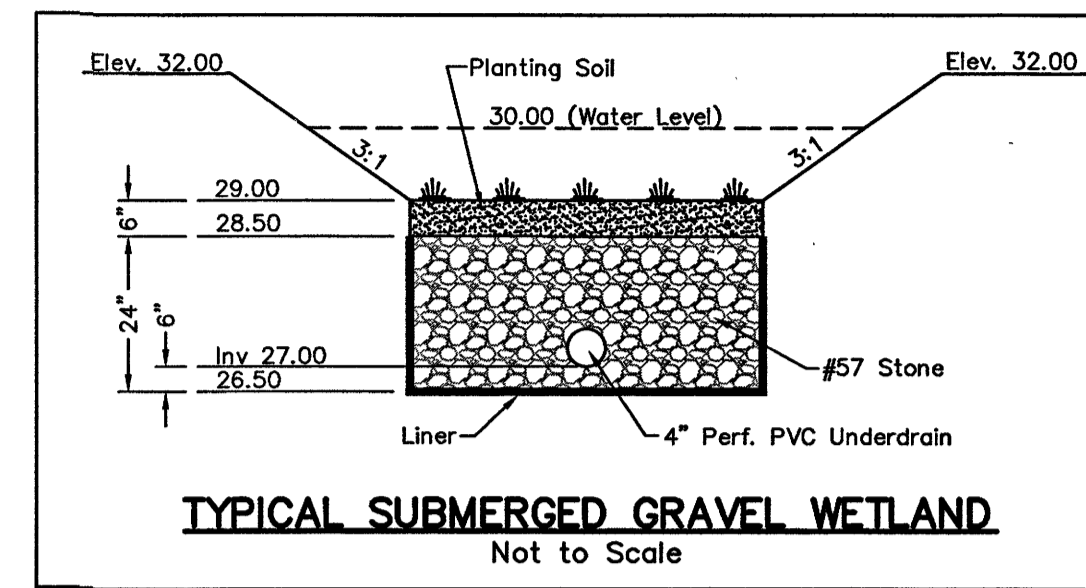
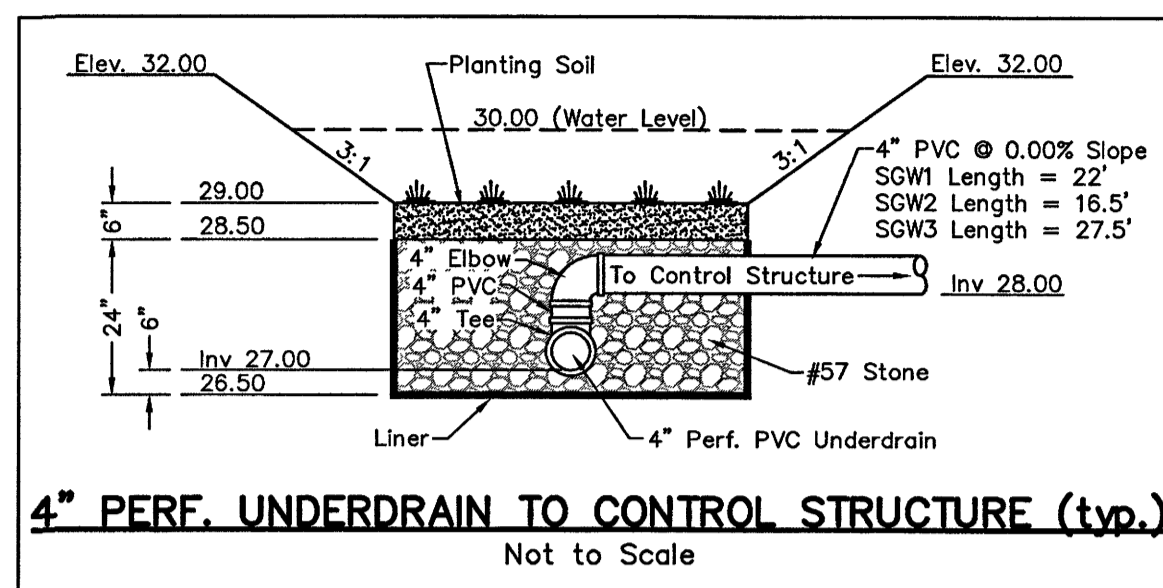
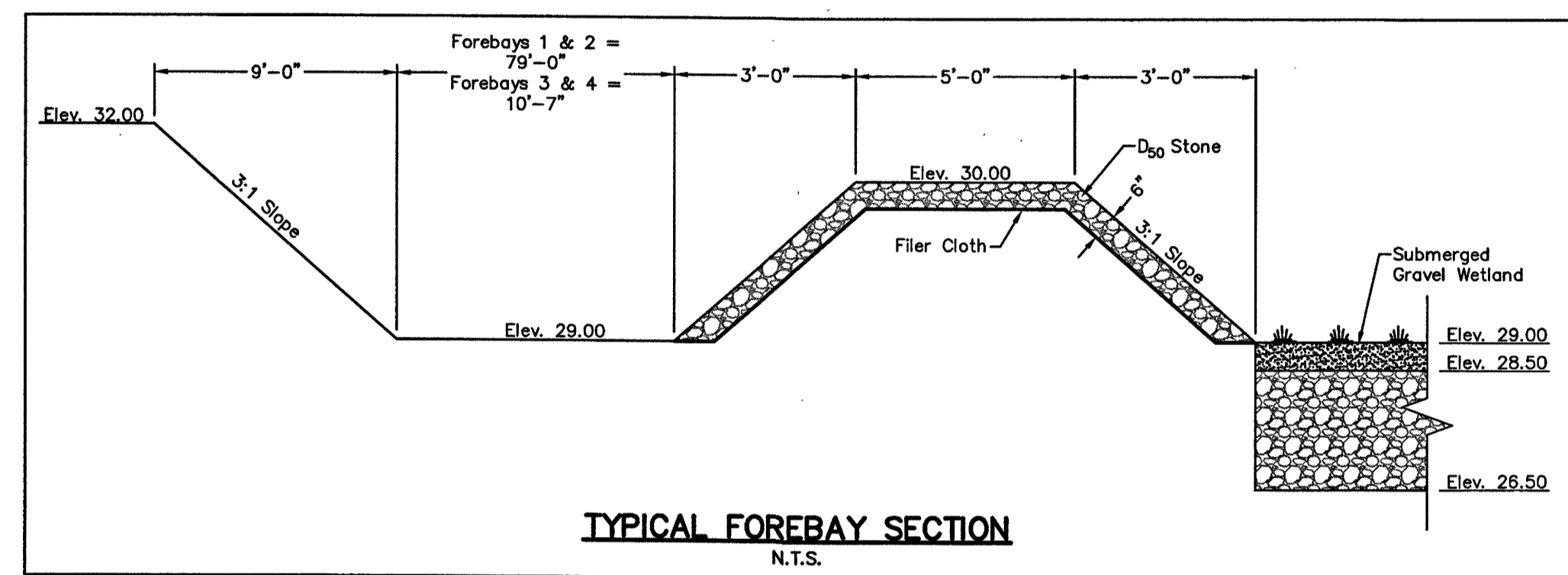
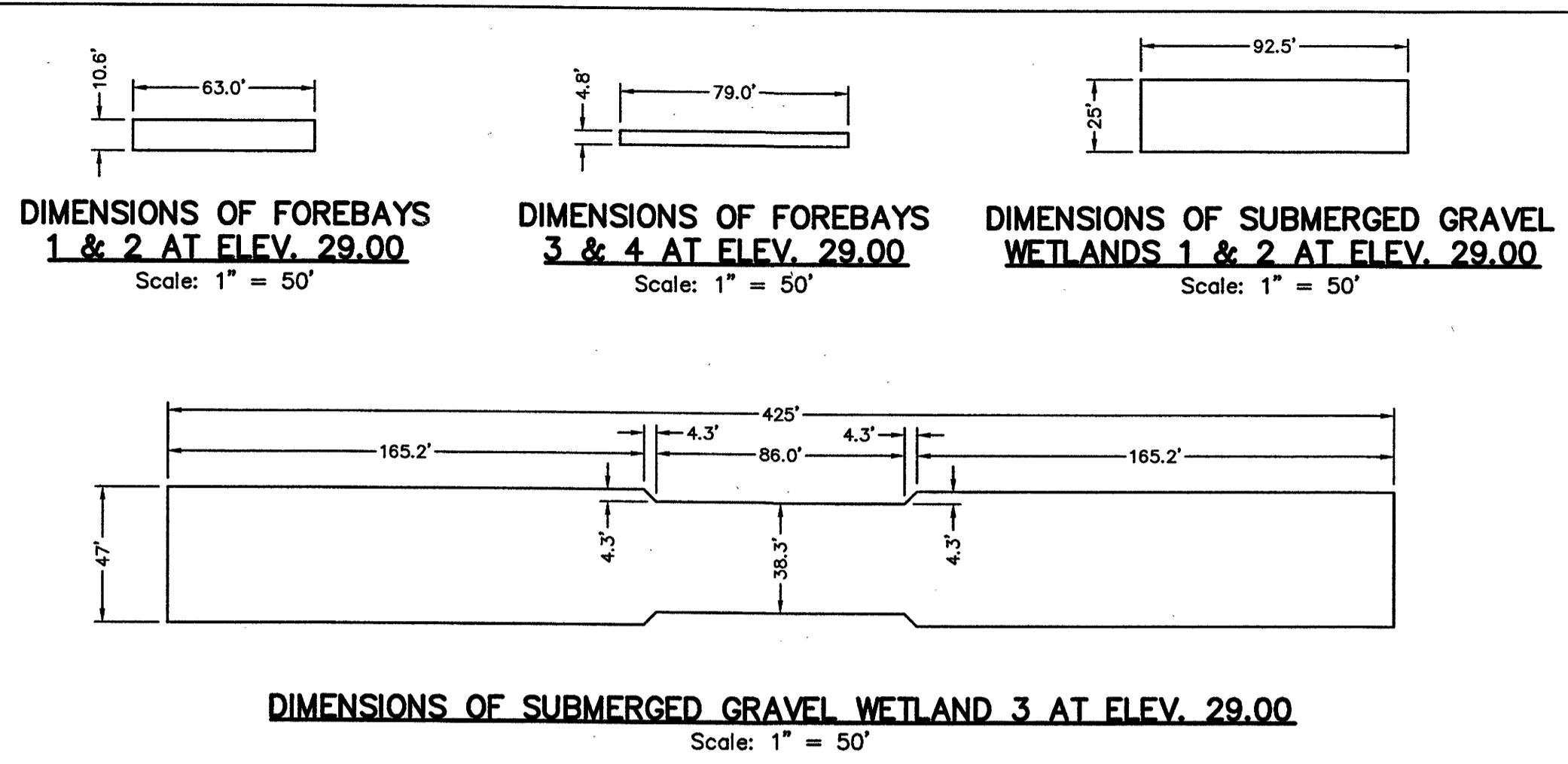
PROJECT NUMBER
M22033
SHEET OF
SWM-4

PHONE: (410)-957-2149
FAX: (410)-957-2928

DATE PLOTTED: 5/1/2025

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
NO. 12437

JUN 05 2025



OVERALL PLANTING SCHEDULE

- Provide Arrowhead/Duck Potato @ 24" O.C. outside area restricted to shorter grasses.
- Seed area outside restriction zone with Switchgrass at a rate of 10# PLS per acre (±½ lb.).
- Seed entire area with Broomsedge at a rate of 12# PLS per acre (±½ lb.).
- See note this sheet for planting substitutions.

SUBMERGED GRAVEL WETLAND PLANTING NOTES

- The plant schedule is typical for each submerged gravel wetland. If substitutions are desired to be made to this planting list, consult the Maryland Stormwater Regulations, Appendix A, Section A.4.
- There shall be a minimum of 3 separate species planted.
- Plants shall be spaced as indicated, seeding may be performed around plantings.
- Any substitutions to be approved by Design Engineer and Worcester County.
- The following plants should not be placed within 25' of the outfall structure due to their shrublike nature or excessive normal height: Arrow Arum, Arrowhead/Duck Potato, Bushy Beardgrass, Marsh Hibiscus, Spatterdock, Switchgrass.

MAINTENANCE REQUIREMENTS

- During the first year of operation, inspections shall be conducted after every major storm and poorly established areas revegetated.
- Sediment accumulation in the pretreatment areas shall be removed as necessary.
- Signs of uneven flow distribution within the wetlands may mean that the gravel or underdrain is clogged, the gravel and/or underdrain may need to be removed, cleaned, and replaced.
- A dense stand of wetland vegetation should be maintained through the life of the facility with plantings replaced as needed.
- Inlets and outlets to each submerged gravel wetland cell shall be free from debris to prevent clogging.
- Erosion at inflow points shall be repaired, flow splitters shall be functional to prevent bypassing of the facility.

NOTE: PROVIDE WICOMICO COUNTY STORMWATER MANAGEMENT INSPECTOR MEDIA AND PLANTINGS TICKETS FROM THE CONTRACTOR/SUPPLIER ON-SITE TO VERIFY PLANTINGS INSTALLED ARE PER PLAN FOR THE SUBMERGED GRAVEL WETLAND AREAS. CONSTRUCTION, FINAL INSPECTIONS AND FINAL CERTIFICATIONS BY DESIGN ENGINEER.

LANDSCAPE PLANT SCHEDULE		
BOTANICAL NAME	COMMON NAME	PLANT SPACING
PELTANDRA VIRGINICA	ARROW ARUM	24" O.C.
SAGITARIA LATIFOLIA	ARROWHEAD/DUCK POTATO	24" O.C.
ANDROPOGON VIRGINICUS	BROOMSEDGE	SEED
ELODEA CANADENSIS	BROAD WATER WEED	SEED
ANDROPOGON GLOMERATUS	BUSHY BEARDGRASS	18" O.C.
SCIRPUS PUNGENS	COMMON THREE-SQUARE	SEED
HIBISCUS MOSCHEUTOS	MARSH HIBISCUS	SEED
NUPHAR LUTEUM	SPATTERDOCK	SEED
LEERSIA ORYZOIDES	RICE OUTGRASS	SEED OR 24" O.C.
CAREX SPP.	SEDGES	18" O.C.
JUNCUS EFFUSUS	SOFT RUSH	SEED
PANICUM VIRGATUM	SWITCHGRASS	SEED

OPERATION AND MAINTENANCE FOR SUBMERGED GRAVEL WETLANDS

Construction Criteria:
The following items should be addressed during the construction of projects with submerged gravel wetlands:

- Site Disturbance: All on-site disturbed areas should be stabilized prior to allowing runoff to enter the newly constructed wetland.
- Erosion and Sediment Control: The proposed location of a submerged gravel wetland shall be protected during construction. Surface runoff shall be diverted away from the practice during grading operations. Flow splitters and other conveyance infrastructure shall be blocked.
- Wetland construction shall be performed with lightweight, wide-tracked equipment to minimize disturbance and compaction. Excavated materials shall be placed in a contained area. Any pumping operations shall discharge filtered water to a stable outlet.
- Gravel Media: The aggregate shall be composed of an 18 to 48 inch layer of clean washed, uniformly graded material with a porosity of 40% Rounded bank run gravel recommended (e.g., ASTM D448 4.5, or 6 stone or equal).
- Installation of Liner at bottom of submerged gravel wetlands to maintain submerged conditions.

Inspection:
Regular inspections shall be made during the following stages of construction:

- During excavation to subgrade.
- During placement of backfill of perforated inlet pipe and observation wells.
- During placement of geotextiles and all filter media.
- During construction of any appurtenant conveyance systems such as diversion structures, inlets, outlets, and flow distribution structures.
- Upon completion of final grading and establishment of permanent stabilization, and before allowing runoff to enter the wetland.

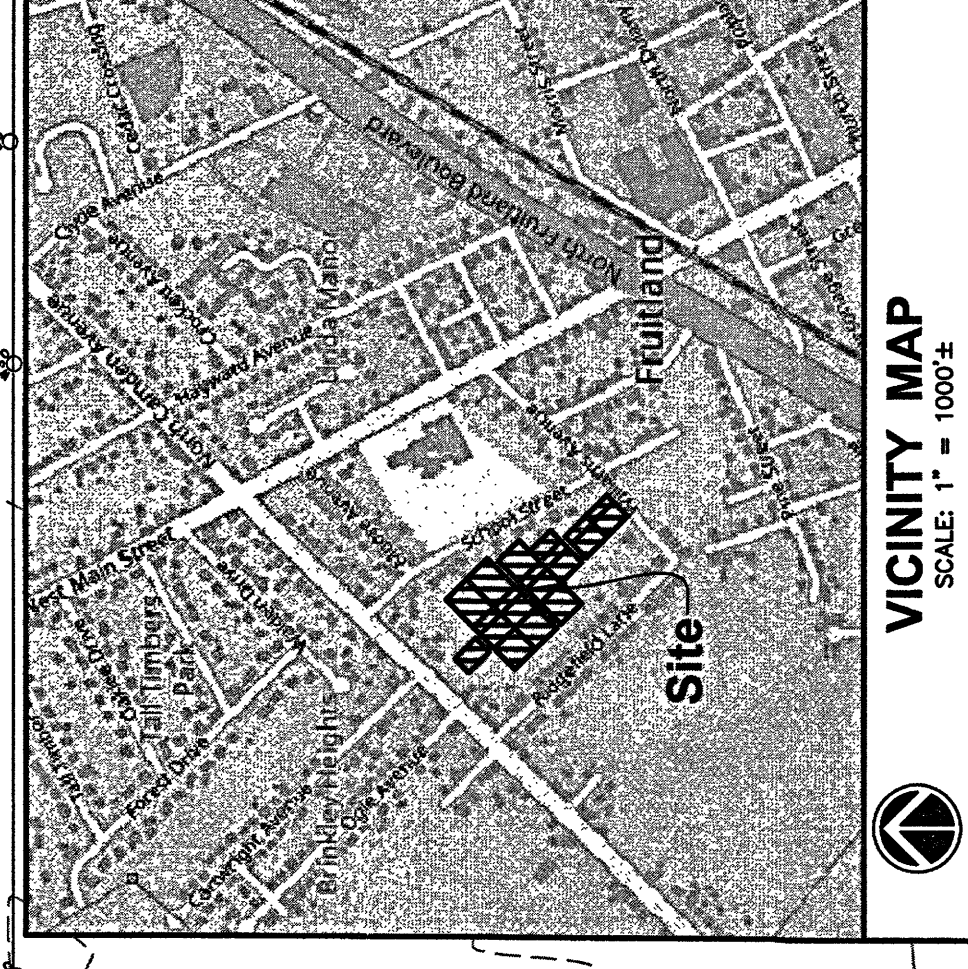
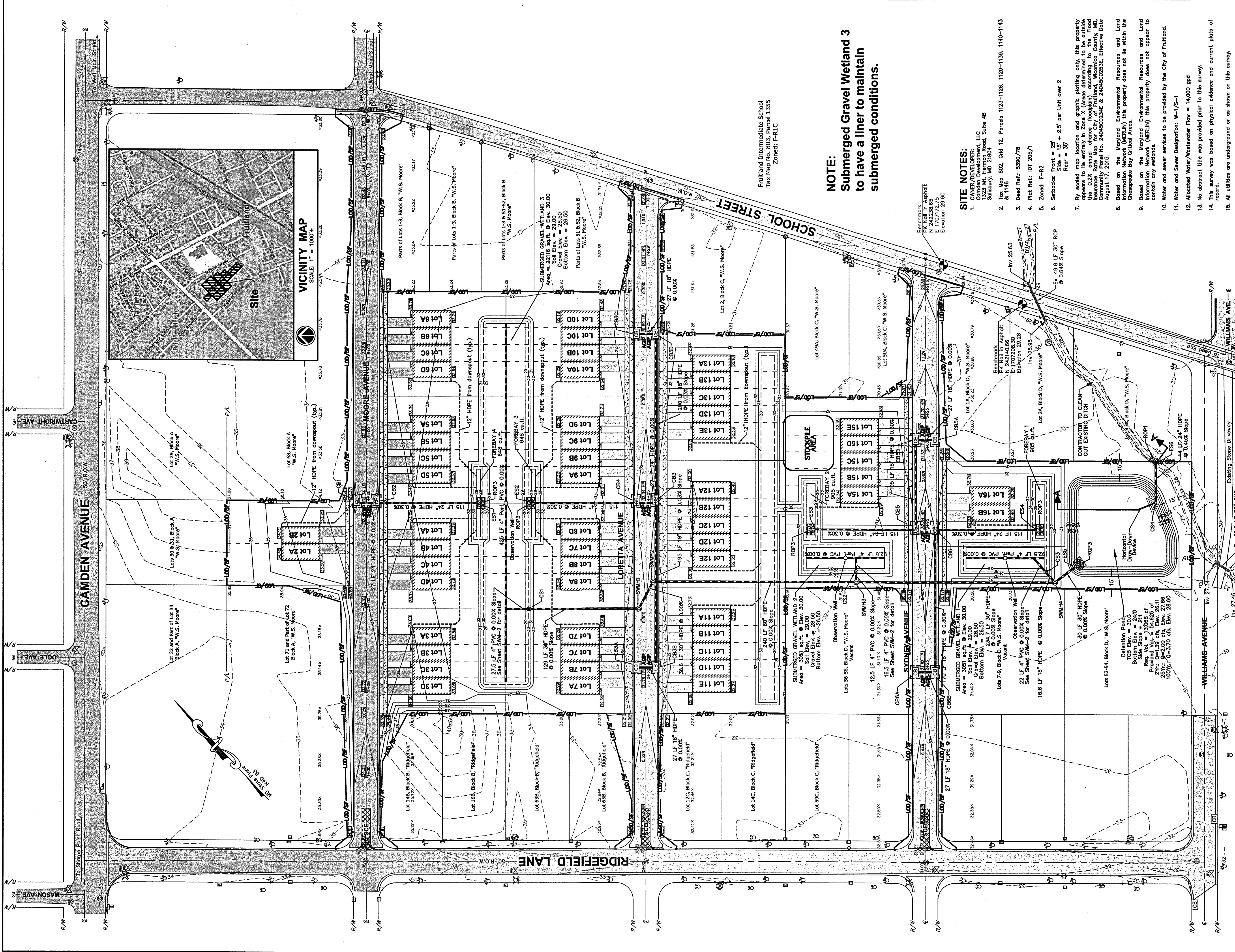
Maintenance Criteria:
The following items should be addressed to ensure proper maintenance and long-term performance of submerged gravel wetlands:

- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
- During the first year of operation, inspections should be conducted after every major storm and poorly established areas revegetated.
- Sediment accumulation in the pretreatment areas should be removed as necessary.
- Signs of uneven flow distribution within the wetland may mean that the gravel or underdrain is clogged. The gravel and/or underdrain may need to be removed, cleaned, and replaced.
- A dense stand of wetland vegetation should be maintained through the life of the facility with plantings replaced as needed.
- Inlets and outlets to each submerged gravel wetland cell should be free from debris to prevent clogging.
- Erosion at inflow points should be repaired. Flow splitters should be functional to prevent bypassing of the facility.

STORMWATER MANAGEMENT DETAILS
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:		SCALE: N.T.S.		PROJECT NUMBER
		DRAWN BY: MPB		M22033
		DATE DRAWN: Aug. 2022		SHEET OF
		DESIGNED BY: GEY		SWM-5
		CHECKED BY: GEY		
		CADD DWG. NAME:		
		M22033 Camden Landing SWM		

Date Plotted: 5/1/2025



Fruitland Intermediate School
Tax Map No. 803, Parcel 1355
Zoned: F-R1C

NOTE:
Submerged Gravel Wetland 3
to have a liner to maintain
submerged conditions.

SITE NOTES:

- OWNER/DEVELOPER: Camden Development, LLC
1323 Mt. Hermon Road, Suite 48
Salisbury, MD 21804
- Tax Map 802, Grid 12, Parcels 1123-1126, 1129-1139, 1140-1143 & 1146
- Dead Ref: 5390/79
- Plot Ref: DT 205/1
- Zoned: F-R2
- Setbacks: Front = 25' + 2.5' per unit over 2
Rear = 35'
- By scaled map location and graphic plotting, only this property appears to lie entirely in Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for City of Fruitland, Wicomico County, MD, August 17, 2015.
- Based on the Maryland Environmental Resources and Land Use Information Network (MERLIN) this property does not appear to contain any wetlands.
- Water and sewer services to be provided by the City of Fruitland.
- Water and Sewer Designation: W-1/S-1
- Allocated Water/Wastewater Flow = 14,000 gpd
- No abstract title was provided prior to this survey.
- This survey was based on physical evidence and current plats of record.
- All utilities are underground or as shown on this survey.
- Horizontal datum is MD State Plane Coordinates, NAD 83
Vertical datum is NAVD 88.
- Total On-Site Drainage Area = 382,008.4 sq.ft. (8.77 Acres)
Total Off-Site Drainage Area = 516,525.1 sq.ft. (11.90 Acres)

Limits of Disturbance = 404,542 sq.ft. (9.29 acres)

SOIL EROSION & SEDIMENT CONTROL PLAN
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC

TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146

CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

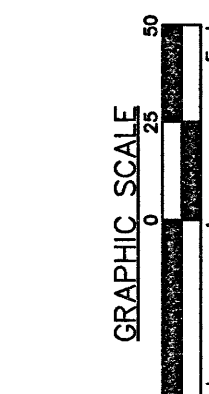
LEGEND

- R/W --- RIGHT OF WAY LINE
- CENTERLINE OF RIGHT OF WAY
- PROPERTY LINE
- UTILITY LINE
- LIGHT POLE
- ELECTRIC PEDESTAL
- TELEPHONE PEDESTAL
- SANITARY SEWER MANHOLE
- SEWER CLEANOUT
- WELL
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- GAS VALVE
- STORM DRAIN MANHOLE
- DITCH TOP OF BANK
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED STORM DRAIN LINE
- PROPOSED 12" HDPE FROM ROOF DRAINS
- LIMITS OF DISTURBANCE/SILT FENCE
- AT GRADE INLET PROTECTION
- ASPHALT PAVEMENT

WICOMICO COUNTY SOIL CONSERVATION DISTRICT
BY: _____ DATE: _____

ROCK OUTLET PROTECTION I (ROP1)
D₅₀ = 5 1/2", D₁₀₀ = 7"
Width = 6'
Length = 10'
Thickness = 19"

ROCK OUTLET PROTECTION III (ROP3)
D₅₀ = 5 1/2", D₁₀₀ = 7"
Width = 10'
Length = 10'
Thickness = 19"

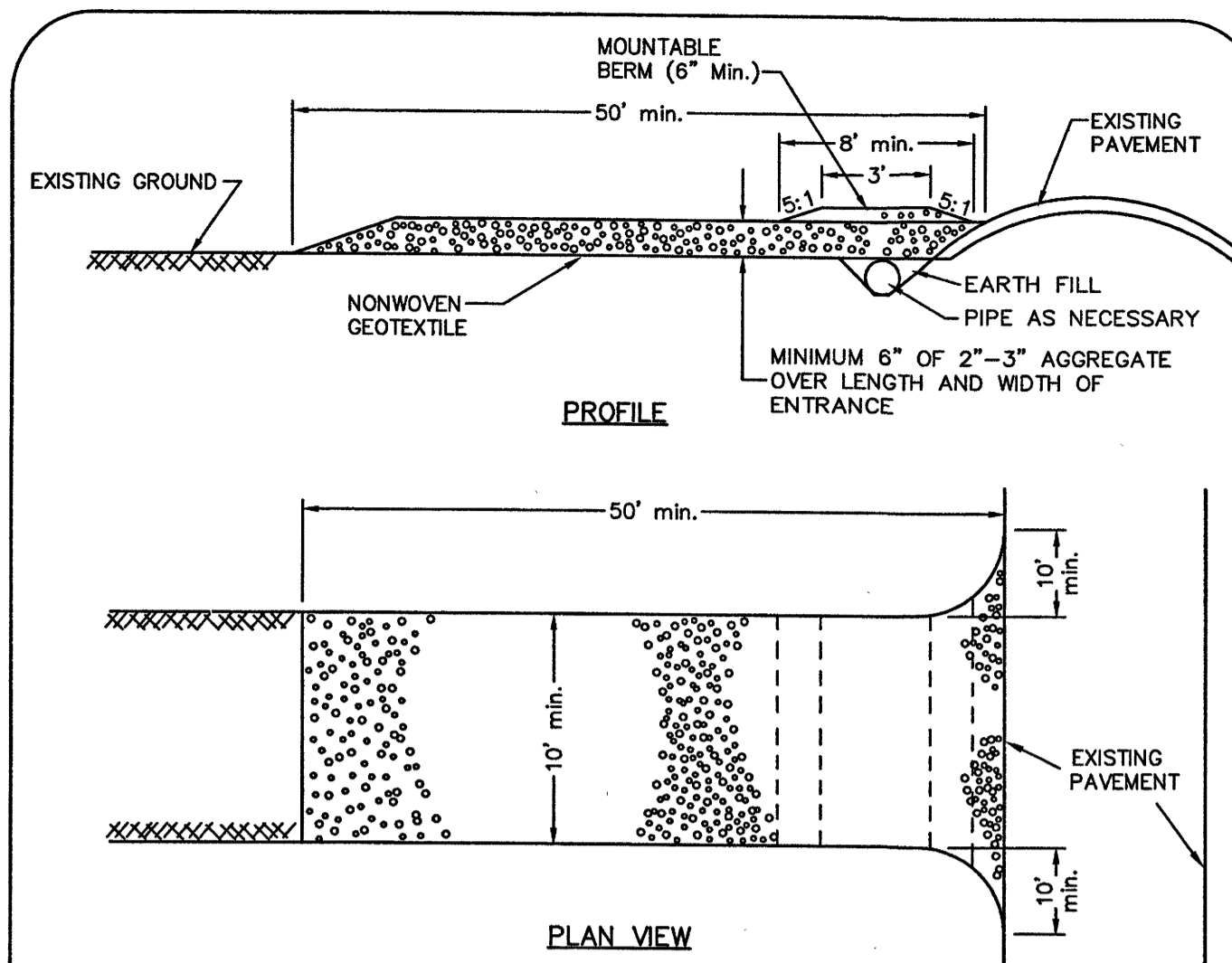


Date Plotted: 5/19/2025

REVISIONS:

ENGINEER: GEORGE E. YOUNG, III, P.C.
DESIGNED BY: GEY
CHECKED BY: GEY
CADD DWG. NAME: M22033
PHONE: (410)-457-2149
FAX: (410)-457-2928

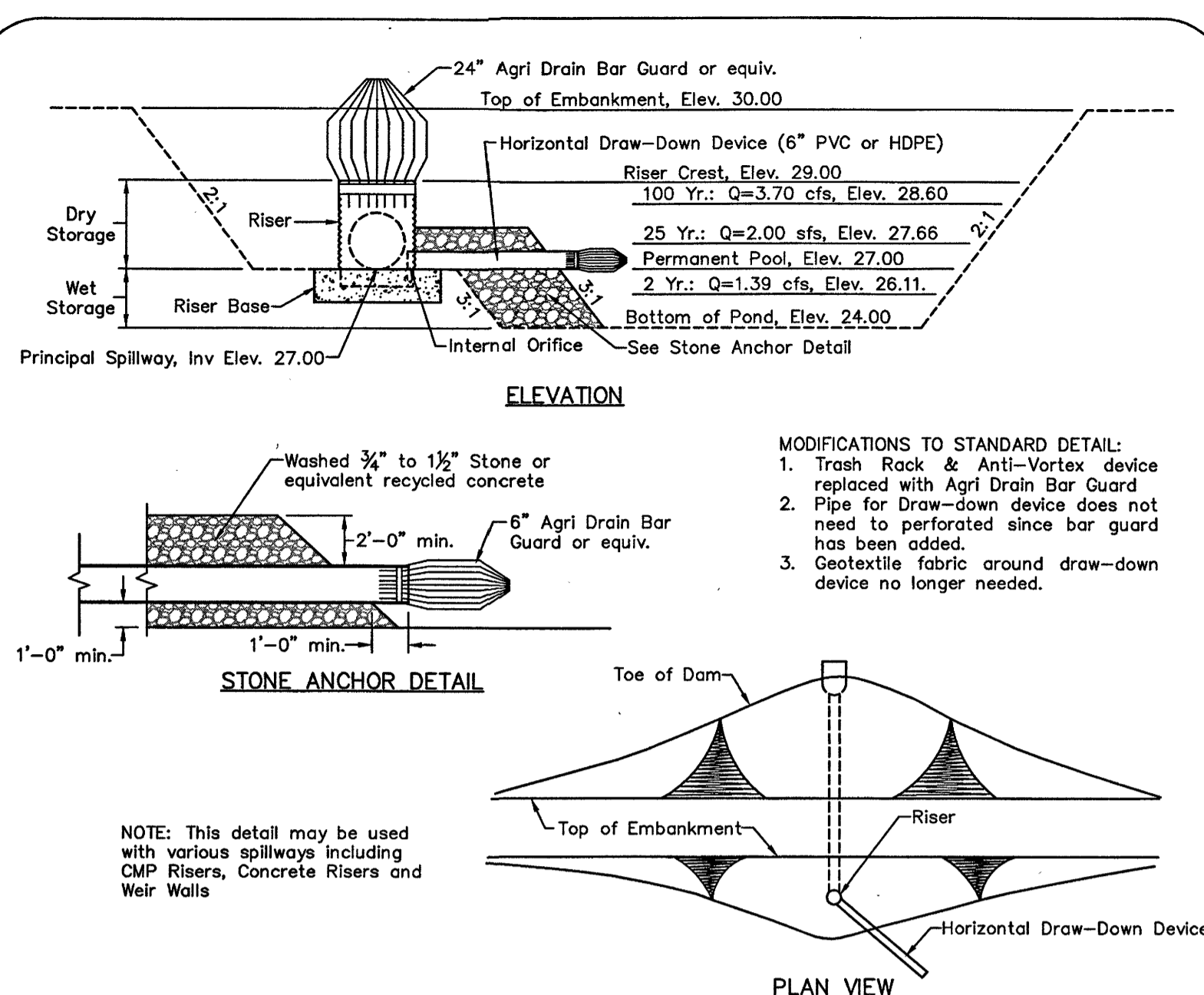
PROJECT NUMBER: M22033
SHEET OF: SEC-1
DRAWN BY: MFB
DATE DRAWN: Aug. 2022
DESIGNED BY: GEY
CHECKED BY: GEY
CADD DWG. NAME: M22033 Camden Lending SWM



- CONSTRUCTION SPECIFICATIONS**
- Place stabilized construction entrance in accordance with the approved plan. Vehicles must travel over the entire length of the SCE. Use minimum length of 50 feet (*30 feet for single residence lot). Use minimum width of 10 feet. Flare SCE 10 feet minimum at the existing road to provide a turning radius.
 - Pipe all surface water flowing to or diverted toward the SCE under the entrance, maintaining positive drainage. Protect pipe installed through the SCE with a mountable berm with 5:1 slopes and a minimum of 12 inches of stone over the pipe. Provide pipe as specified on approved plan. When the SCE is located as a high spot and has no drainage to convey, a pipe is not necessary. A mountable berm is required when SCE is not located at a high spot.
 - Prepare subgrade and place nonwoven geotextile, as specified in Section H-1 Materials.
 - Place crushed aggregate (2 to 3 inches in size) or equivalent recycled concrete (without rebar) at least 6 inches deep over the length and width of the SCE.
 - Maintain entrance in a condition that minimizes tracking of sediment. Ass stone or make other repairs as conditions demand to maintain clean surface, mountable berm, and specified dimensions. Immediately remove stone and/or sediment spilled, dropped, or tracked onto adjacent roadway by vacuuming, scraping, and/or sweeping. Washing roadway to remove mud tracked onto pavement is not acceptable unless wash water is directed to an approved sediment control practice.

STABILIZED CONSTRUCTION ENTRANCE

Detail B-1
Not to Scale



- MODIFICATIONS TO STANDARD DETAIL:**
- Trash Rack & Anti-Vortex device replaced with Agri Drain Bar Guard
 - Pipe for Draw-down device does not need to perforated since bar guard has been added.
 - Geotextile fabric around draw-down device no longer needed.

- CONSTRUCTION SPECIFICATIONS**
- As an alternate to stone anchoring, secure draw-down device with two 1 inch steel angles set 3 feet minimum into the ground attached to draw-down device by a 1 inch wide galvanized steel strap or 12 gauge or heavier wire.
 - Remove sediment when it accumulates to cleanout elevation (50% of the wet storage depth). Deposit removed sediment in an approved area in such a manner that it will not erode, maintain water tight connections.

HORIZONTAL DRAW-DOWN DEVICE

(G-2-6 modified)
N.T.S.

CONTROL STRUCTURE 4

RESPONSIBLE PERSONNEL CERTIFICATION

- Any clearing, grading construction or development, or all of these will be done pursuant to this plan.
- That Responsible Personnel Involved in the construction project will have Certification of Training at the Department approved training program (Green Card Certification for the Control of Sediment and Erosion) before beginning the project. Certification may be waived by the Approval Authority on any project involving four or fewer residential units and as applicable per County.
- The Developer will provide one copy of a red line as-built drawing of each facility requiring a State Pond Permit.
- The Developer will request that the Inspection Agency approve work completed at the stages of construction specified, in accordance with the approved plan.
- All phases of stormwater management calculations, structure design and construction will adhere to current Maryland Standards and Specifications for Stormwater Management and the stormwater management plan for this site.
- All information set forth in this plan accurately conveys this site's conditions to the best of my knowledge.
- All structural devices for stormwater management will be protected by proper soil erosion and sediment control devices until contributing areas have passed final stabilization inspection.
- On all sites (except individual single family dwellings) upon completion of the project, an as-constructed survey, Notice of Construction Completion (NOCC) and Letter of Certification must be submitted to the Department. Once review is completed and approved, a certificate of Occupancy can be issued.

Camden Development LLC
1323 Mt. Hermon Rd., Suite 48
Salisbury, MD 21804
Phone: 443-783-6169

Date: 6/7/25

SEQUENCE OF CONSTRUCTION

- Notify the Maryland Department of the Environment (MDE) at 410-901-4020 two weeks prior to start of construction.
- Contact the Maryland Department of the Environment (MDE) at 410-537-3510 and Wicomico County Department of Public Works at 410-548-4927 to schedule a pre-construction meeting at least 48 hours prior to commencing any site work, failure to do so may result in an immediate Stopwork Order.
- Install Stabilized Construction Entrances.
- Perform clearing and grubbing necessary for installation of silt fence.
- Install silt fence and then continue with other site grubbing within the limit of disturbance.
- Construct stormwater management pond (to be used as sediment basin) and provide outlet and control structure for dewatering.
- Approval of the Inspection Agency shall be requested upon completion of installation of perimeter controls but before proceeding with any other earth disturbance or grading; other building or grading inspections approvals may not be authorized until this initial approval by the Inspection Agency is made.
- Strip site for road areas, driveway areas and building areas. Rough grade. Construct swales to sediment basin.
- Install other erosion and sediment control devices where required or as directed to minimize erosion where possible.
- Grade and stabilize roadways and install erosion and sediment control devices where required or as directed to minimize erosion.
- Perform rough grading prior to utility installation.
- Install utilities, keeping trenches open only long enough for installation of pipes. No trenches shall be left open overnight with out complete protection. All pipes shall be sealed to prevent sediment buildup when trench is open.
- Construct streets and install inlet protection when inlet is installed at street grade. Maintain all soil erosion control devices erosion control devices during construction.
- Grade areas adjacent to streets and install inlet protection for swales as shown. Install rip-rap at all inflow from drainage swales. Minimize sediment from entering outfall basin.
- Perform final grading, landscaping and final stabilization around all disturbed areas, minimizing sediment into basin.
- Install submerged gravel wetlands.
- Upon completion of all work, remove all soil erosion devices, dewater sediment basin and final grade for stormwater management basin. Modify control structure for stormwater management.
- See Note 10 of the Erosion and Sediment Control Notes (this page) for inspection schedule.

EROSION AND SEDIMENT CONTROL NOTES

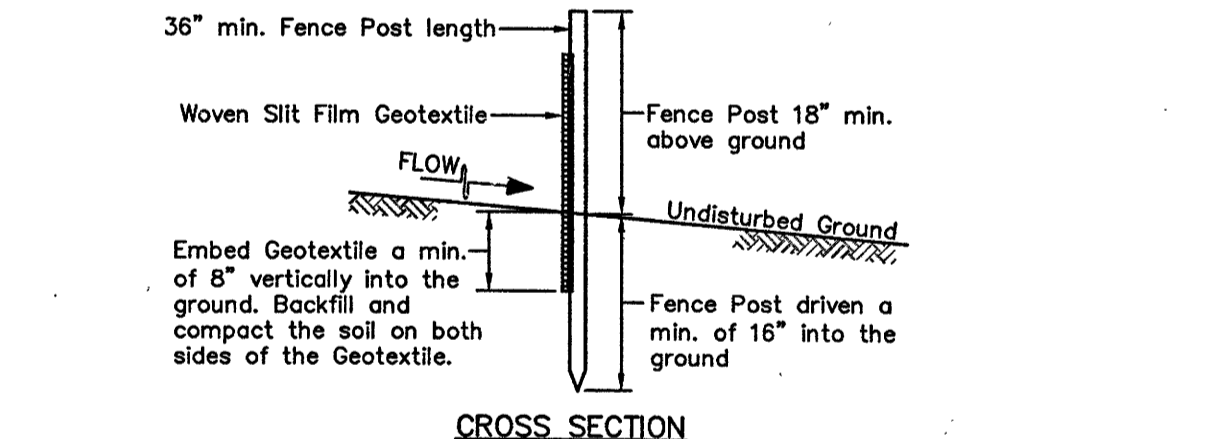
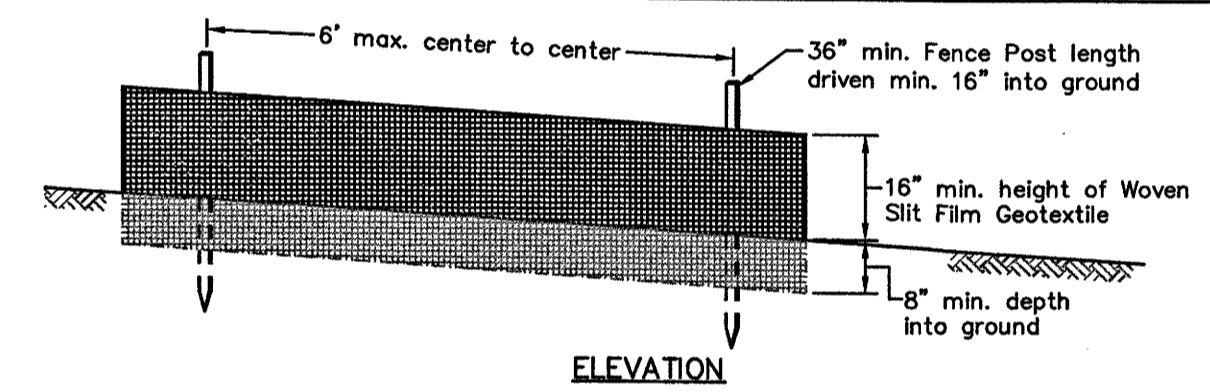
- All sediment and erosion measures are to be constructed and maintained in accordance with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control."
- A periodic maintenance of all sediment control measures shall be required to insure effective sediment control. Inspection of all sediment control measures shall be made weekly and after each rainfall.
- All sediment and erosion control measures shall remain in place until final stabilization is established.
- All areas not covered by buildings, pavement, or other suitable landscaping will be seeded using permanent seed mixture shown on this plan.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within three calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1); and seven days as to all other disturbed or graded areas on the project site. The requirements of this subparagraph do not apply to those areas which are shown on the plan and are currently being used for material storage, or for these areas on which actual construction activities are currently being performed.
- The Soil Conservation District reserves the right to require additional sediment and erosion measures during the construction of this project.
- Seeding (Permanent):
 - Shall be conducted between March 1 to May 15 or August 15 to November 15.
 - Seed bed preparation: apply 11.5 lbs per 1,000 square foot of 10-10-10; harrow or disc into soil to a depth of 3 to 5 inches; apply granulated limestone at 2 tons per acre.
 - Seeding: apply 150 lbs. per acre of mixture containing 10% Nassau Kentucky Bluegrass, 75% "Rebel" Tall Fescue, 10% Canada Bluegrass and 5% Redtop on a moist seed bed with suitable equipment—min.
 - Mulching: Immediately after seeding, uniformly mulch entire area with unweathered small grain straw at a rate of 2.5 tons per acre. Mulch to be anchored with mulch anchoring tool on the contour.
- Temporary Stabilization:
 - Provide seed bed as in 7.B. above.
 - Provide temporary seeding with 50 lbs. per acre Annual Rye Seed during the periods of February 1 to April 30 and August 15 to November 1, or 50lbs per acre Millet between May 1 and August 14. Between Fall and Spring seeding dates use mulch only if ground is frozen and reseed when thawed.
 - Mulch per 7.D. above.
- Maintenance shall be performed as necessary to ensure all areas continuously meet the appropriate requirements of the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control."
- INSPECTION SCHEDULE: The Owner/Developer or Representative is to contact the appropriate Enforcement Authority (MDE) or its Agent at the following stages of the project:
 - Prior to the start of earth disturbance (pre-construction meeting);
 - After the installation of perimeter erosion and sediment controls (silt fence and stabilized construction entrance), but before proceeding with any other earth disturbance or grading.
 - Prior to stripping site, rough grading and installation of aggregate base for driveway.
 - Prior to fine grading and building construction.
 - Prior to restoration and stabilization of disturbed areas.
 - Prior to the removal of sediment control practices (silt fence and stabilized construction entrance).
 - A final inspection shall be conducted before use and occupancy approval to ensure that adequate treatment areas and permanent stabilization has been established.
- Maintenance: Areas receiving disconnected runoff should be protected from future compaction (e.g., by planting trees or shrubs along the perimeter).

CONSULTANT'S CERTIFICATION

I hereby certify that this plan of erosion and sediment control represents a practicable and workable plan based on my personal knowledge of the site, and this plan was prepared in accordance with the requirements of the Wicomico County "Standards and Specifications for Soil Erosion and Sediment Control". I have reviewed this Erosion and Sediment Control Plan with the Owner/Developer.

George E. Young III
Professional Land Surveyor, MD No. 10854
Expiration Date: 04/07/2026

Date: JUN 05 2025

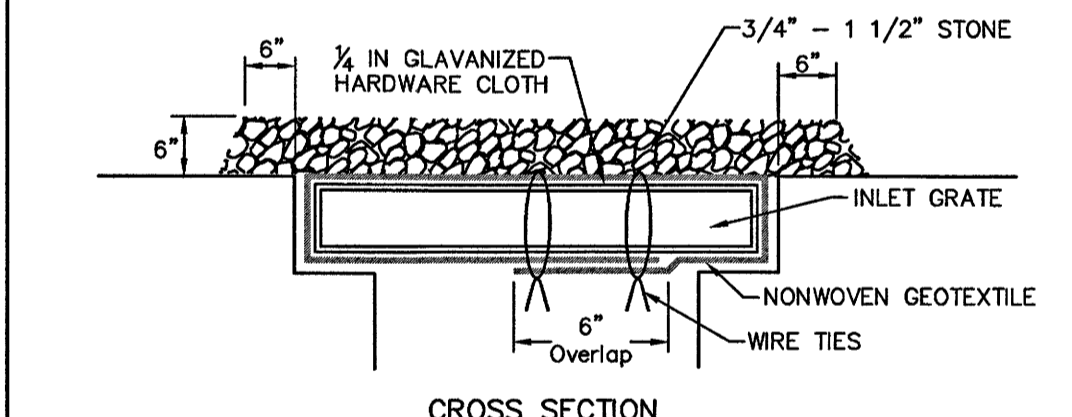
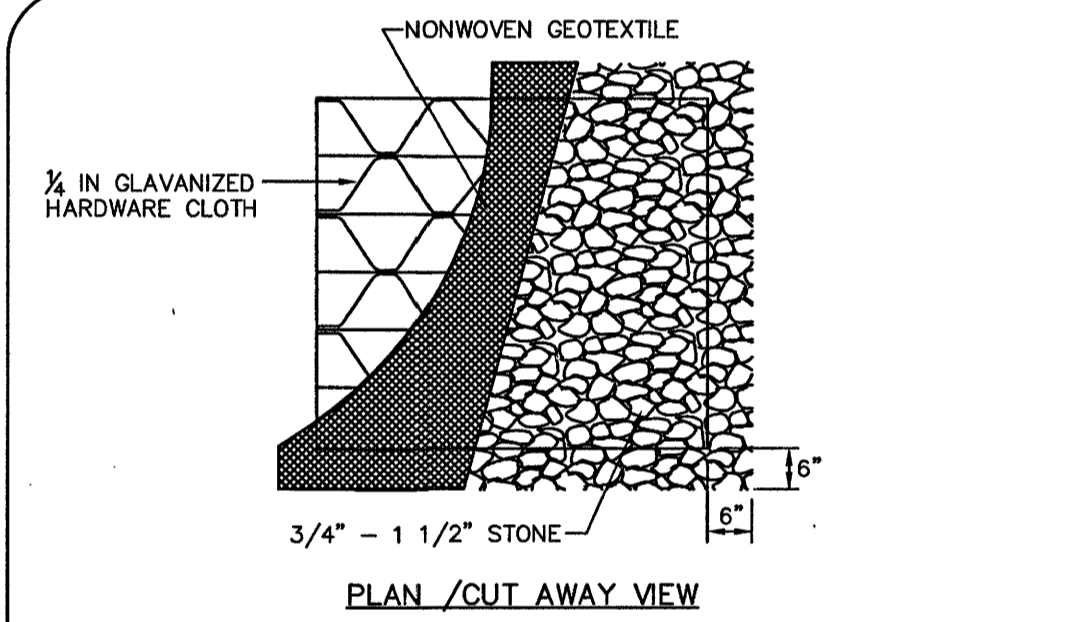


JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW)

- CONSTRUCTION SPECIFICATIONS**
- Use wood posts 1 1/2" x 1 1/2" x 1/2" inch (minimum) square cut of sound quality hardwood. As an Alternative to wooden post use standard "T" OR "U" section steel posts weighing not less than 1 pound per linear foot.
 - Use 36 inch minimum posts driven 16 inch minimum into ground no more than 6 feet apart.
 - Use woven silt film geotextile as specified in Section H-1 Materials and fasten geotextile securely to upslope side of fence posts with wire ties or staples at top and mid-section.
 - Provide manufacturer certification to the authorized representative of the inspection/enforcement authority showing that the geotextile used meets the requirements in Section H-1 Materials.
 - Embed geotextile a minimum of 8 inches vertically into the ground. Backfill and compact the soil on both sides of fabric.
 - Where two sections of geotextile adjoin: overlap, twist, and staple to post in accordance with this detail.
 - Extend both ends of the silt fence a minimum of five horizontal feet upslope at 45 degrees to the main fence alignment to prevent runoff from going around the ends of the silt fence.
 - Remove accumulated sediment and debris when bulges develop in silt fence or when sediment reaches 25% of fence height. Replace geotextile if torn. If undermining occurs, reinstall fence.

SILT FENCE

Detail E-1
Not to Scale



AT GRADE INLET PROTECTION

- Construction Specifications**
- Use nonwoven geotextile as specified in Section H-1 Materials.
 - Lift grate and wrap with nonwoven geotextile to completely cover all openings. Secure with wire ties and set grate back in place.
 - Place clean 3/4" to 1 1/2" inch stone or equivalent recycled concrete 6 inches thick on the grate.
 - Storm drain inlet protection requires frequent maintenance. Remove accumulated sediment after each rain event to maintain function and avoid premature clogging. If inlet protection does not completely drain within 24 hours after a storm event, it is clogged. When this occurs, remove accumulated sediment and clean or replace geotextile and stone.

TEMPORARY SEEDING SUMMARY (page B.18)

Hardiness Zone (from figure B.3): 7a Seed Mixture (from Table B.1)				Seeding Depth	Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates			
1	ANNUAL RYEGRASS	40 lbs.	2/1 - 4/30 8/15 - 11/30	1/2"	436 lb/ac (10 lb/1000 sf)	2 tons/ac (90 lb/1000 sf)

PERMANENT SEEDING SUMMARY (page B.23)

Hardiness Zone (from figure B.3): 7a Seed Mixture (from Table B.3)				Seeding Depth	N	P205	K20	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates (Table B.5)					
9	Tall Fescue	60	2/15 to 4/30	1/4" - 1/2"	45 lb/ac (1 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	2 tons/ac (90 lb/1000 sf)
	Kentucky Bluegrass	40	8/15 to 10/31					
	Perennial Ryegrass	20	11/1 to 11/30					
8	Tall Fescue	100	2/15 to 4/30	1/4" - 1/2"	45 lb/ac (1 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	2 tons/ac (90 lb/1000 sf)
	Kentucky Bluegrass	60	8/15 to 10/31					
	Creeping Red Fescue	15	11/1 to 11/30					

Page, Table and Figure references are from "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control"

SOIL EROSION & SEDIMENT CONTROL DETAILS
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

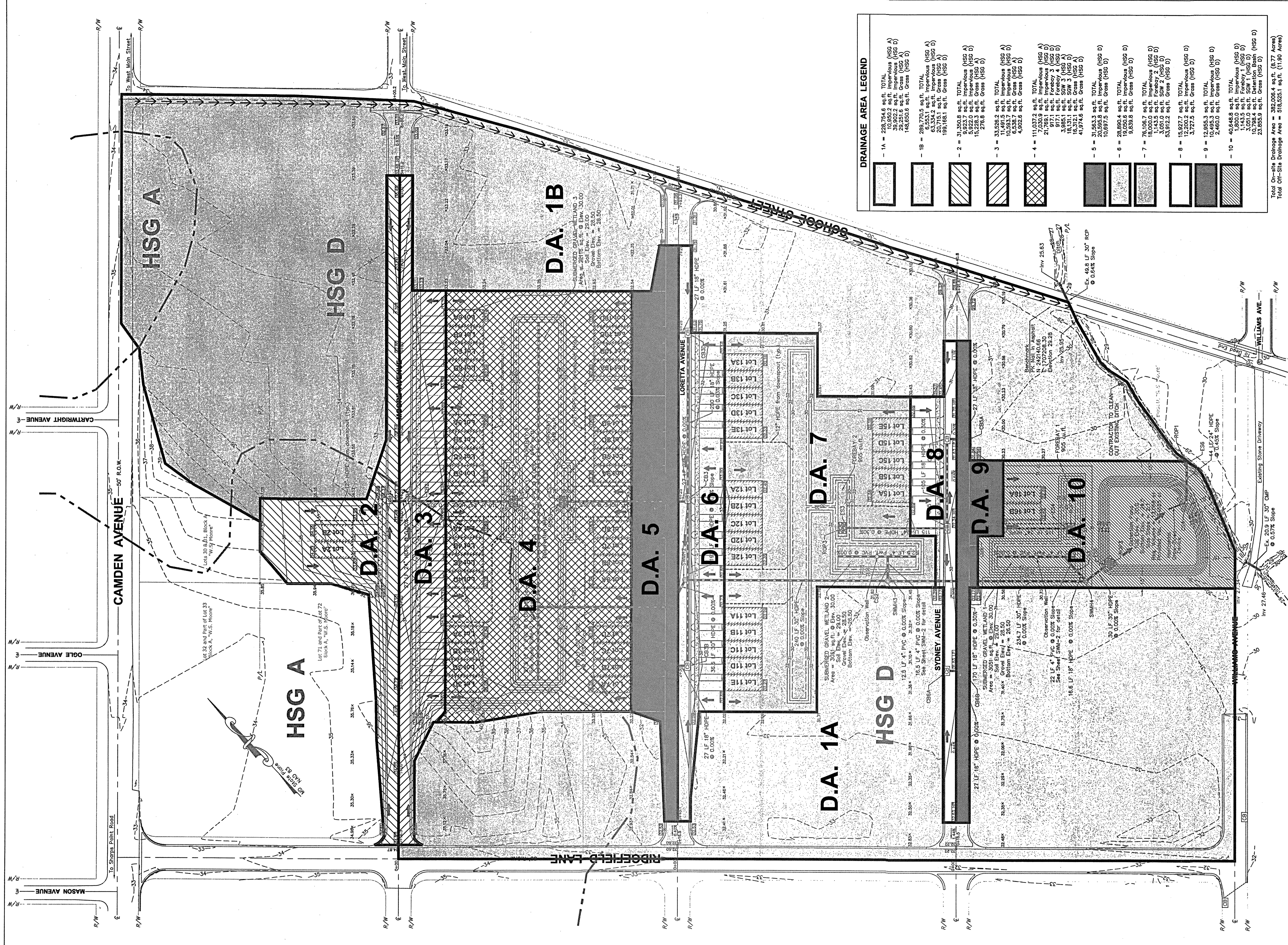
REVISIONS:

SCALE: N.T.S.
DRAWN BY: MPB
DATE DRAWN: Aug. 2022
DESIGNED BY: GEY
CHECKED BY: GEY
CADD DWG. NAME:
M22033 Camden Landimg.dwg

GEY
GEORGE E. YOUNG, III, P.C.
ENGINEERS & SURVEYORS
1603 MARKET STREET
POCOCKE MARYLAND 21851
PHONE: (410)-957-2149
FAX: (410)-957-2928

PROJECT NUMBER
M22033
SHEET OF
SEC-2

JUN 05 2025



DRAINAGE AREA LEGEND

	1A = 228,754.6 sq.ft. TOTAL 10,650.2 sq.ft. Impervious (HSG A) 39,902.2 sq.ft. Impervious (HSG D) 148,650.6 sq.ft. Grass (HSG D)
	1B = 289,770.5 sq.ft. TOTAL 6,333.1 sq.ft. Impervious (HSG A) 20,715.1 sq.ft. Grass (HSG A) 199,681.1 sq.ft. Grass (HSG D)
	2 = 31,553.9 sq.ft. TOTAL 5,922.0 sq.ft. Impervious (HSG A) 15,228.3 sq.ft. Grass (HSG A) 276.6 sq.ft. Grass (HSG D)
	3 = 33,528.2 sq.ft. TOTAL 11,491.5 sq.ft. Impervious (HSG A) 10,553.7 sq.ft. Impervious (HSG D) 11,483.0 sq.ft. Grass (HSG A) 4,902.6 sq.ft. Grass (HSG D)
	4 = 111,037.2 sq.ft. TOTAL 7,030.9 sq.ft. Impervious (HSG A) 21,917.1 sq.ft. Forebay 3 (HSG D) 917.1 sq.ft. Forebay 4 (HSG D) 3,985.1 sq.ft. SOW 3 (HSG A) 16,312.1 sq.ft. Grass (HSG A) 41,974.6 sq.ft. Grass (HSG D)
	5 = 31,453.3 sq.ft. TOTAL 10,697.5 sq.ft. Impervious (HSG D) 20,595.8 sq.ft. Grass (HSG D)
	6 = 28,850.4 sq.ft. TOTAL 9,839.8 sq.ft. Grass (HSG D)
	7 = 76,106.7 sq.ft. TOTAL 11,431.9 sq.ft. Forebay 2 (HSG D) 3,051.0 sq.ft. SOW 2 (HSG D) 53,912.2 sq.ft. Grass (HSG D)
	8 = 15,927.7 sq.ft. TOTAL 12,200.2 sq.ft. Impervious (HSG D) 3,727.5 sq.ft. Grass (HSG D)
	9 = 12,958.3 sq.ft. TOTAL 2,460.0 sq.ft. Impervious (HSG D) 10,498.3 sq.ft. Grass (HSG D)
	10 = 48,648.6 sq.ft. TOTAL 4,800.6 sq.ft. Impervious (HSG D) 1,143.5 sq.ft. Forebay 1 (HSG D) 3,051.0 sq.ft. SOW 1 (HSG D) 23,855.9 sq.ft. Grass (HSG D)

Total On-site Drainage Area = 382,006.4 sq.ft. (8.77 Acres)
Total Off-Site Drainage Area = 518,525.1 sq.ft. (11.90 Acres)

LEGEND

	RIGHT OF WAY LINE
	CENTERLINE OF RIGHT OF WAY
	PROPERTY LINE
	PROPOSED CATCH BASIN MANHOLE
	PROPOSED STORM DRAIN LINE & VECTOR
	PROPOSED 12" HDPE FROM ROOF DRAINS
	DITCH TOP OF BANK
	EXISTING CONTOURS
	TOC ALIGNMENT
	DIRECTION OF DRAINAGE

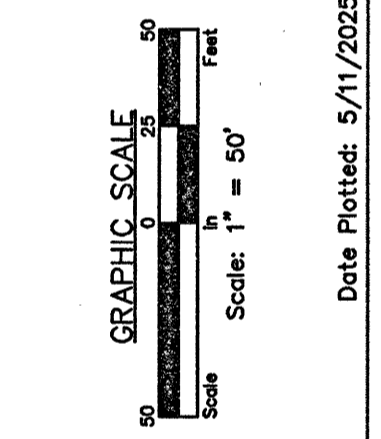
POST-DEVELOPMENT DRAINAGE PLAN
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC
TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:

SCALE:	1" = 50'
DRAWN BY:	MFB
DATE DRAWN:	Aug. 2022
DESIGNED BY:	GEY
CADD DWG. NAME:	M22033

GEORGE E. YOUNG, III, P.C.
ENGINEERS & SURVEYORS
1603 MARKET STREET
PO BOX 1000
FRUITLAND, MD 21051
PHONE: (410)-857-2149
FAX: (410)-857-2928

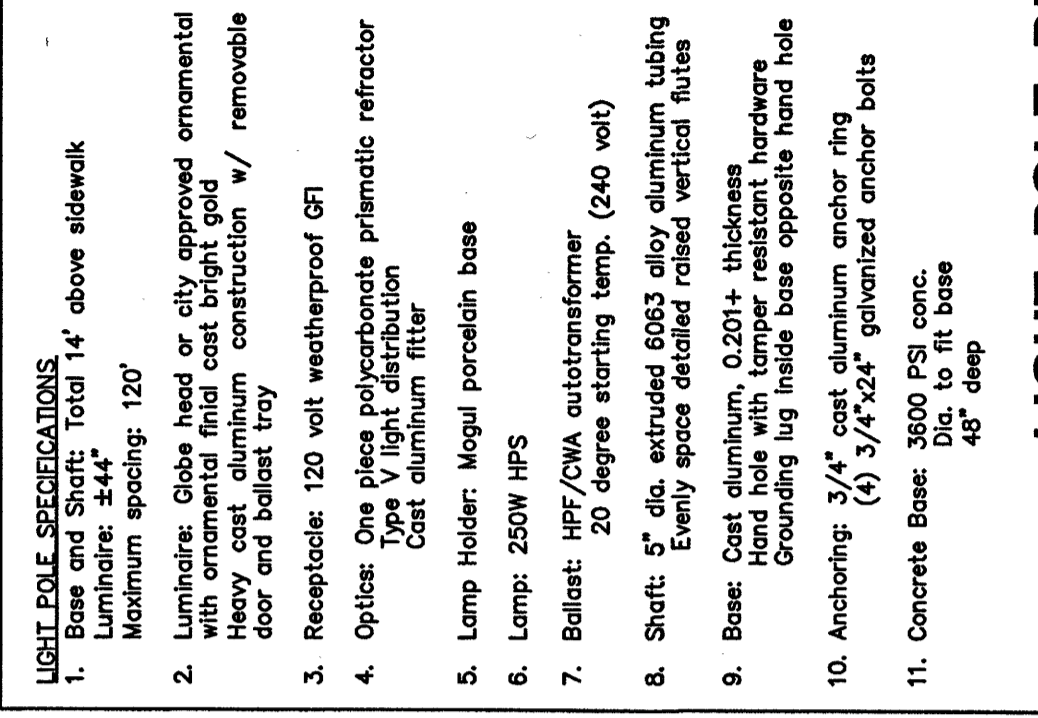
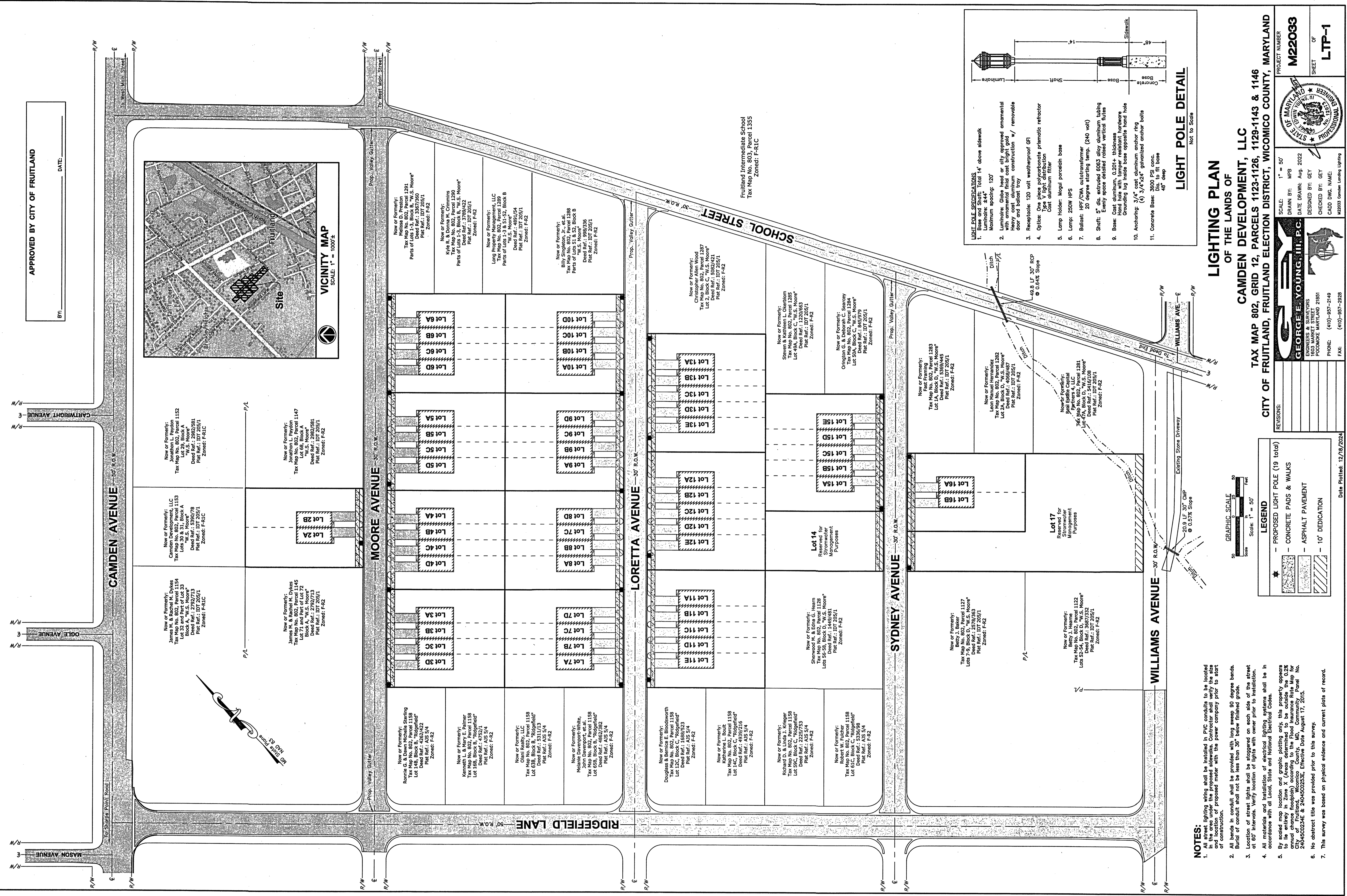
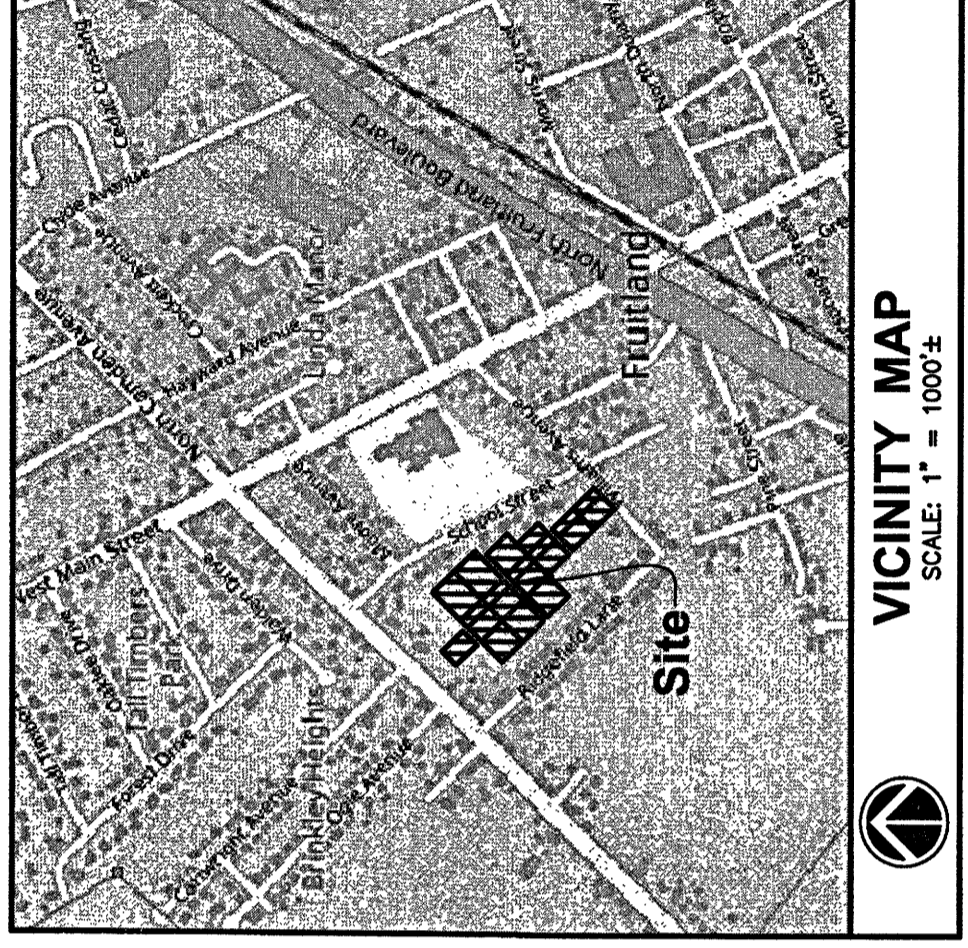
PROJECT NUMBER: **M22033**
SHEET OF: **POS-1**



Date Plotted: 5/11/2025

APPROVED BY CITY OF FRUITLAND

BY: _____ DATE: _____



- LIGHT POLE SPECIFICATIONS**
- Luminaire: Total 14' above sidewalk, Maximum spacing: 34', Luminaire: 34"
 - Luminaire: Globe head or city approved ornamental with ornamental finish cast bright gold, Heavy cast aluminum construction w/ removable door and ballast tray
 - Receptacle: 120 volt weatherproof GF I Type V light distribution
 - Optics: Cast aluminum refractor, Cast aluminum filter
 - Lamp Holder: Mogul porcelain base
 - Lamp: 250W HPS
 - Ballast: HPF/CWA autotransformer 20 degree starting temp. (240 volt)
 - Shunt: 5" dia. extended 6063 alloy aluminum tubing, Evenly spaced detailed raised vertical flutes
 - Base: Cast aluminum, 0.201" thick, Round hole with torquer resistant hardware, Grounding lug inside base opposite hand hole
 - Anchoring: 3/4" cast aluminum anchor ring (4) 3/4"x24" galvanized anchor bolts
 - Concrete Base: 3000 PSI conc. 20' to 24' dia. 48" deep

LIGHT POLE DETAIL
Not to Scale

LIGHTING PLAN
OF THE LANDS OF
CAMDEN DEVELOPMENT, LLC

TAX MAP 802, GRID 12, PARCELS 1123-1126, 1129-1143 & 1146
CITY OF FRUITLAND, FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

REVISIONS:

ENGINEER & SURVEYOR
GEORGE E. YOUNG, III, P.C.
1603 MARKET STREET
POOMOKE MARYLAND 21851
PHONE: (410)-857-2149
FAX: (410)-857-2928

DESIGNED BY: GEY
CHECKED BY: GEY
CADD DWG. NAME:
M22033

PROJECT NUMBER
M22033

SHEET
OF
LTP-1

DATE DRAWN: Aug. 2022
DRAWN BY: MPB
SCALE: 1" = 50'

DEPARTMENT OF PUBLIC WORKS
STATE OF MARYLAND
PROFESSIONAL SEAL

LEGEND

- ★ - PROPOSED LIGHT POLE (19 total)
- CONCRETE PADS & WALKS
- ASPHALT PAVEMENT
- 10' DEDICATION

GRAPHIC SCALE
Scale: 1" = 50'
0 10 20 30 40 50 Feet

- NOTES:**
- All street lighting wiring shall be installed in PVC conduits to be located under the sidewalk and shall be installed in accordance with the location of proposed meter with the power company prior to start of construction.
 - All bends in conduit shall be provided with long sweep 90 degree bends.
 - Burial of conduit shall not be less than 36" below finished grade.
 - Location of street lights shall be staggered on each side of the street at 60' intervals. Verify location of lights with owner prior to installation.
 - All materials and installation of electrical lighting systems shall be in accordance with all Local, State and National Electrical Codes.
 - By scaled map location and graphic plotting only, this property appears to be in the Flood Hazard Zone (Flood Hazard Zone) according to the Flood Hazard Zone Map No. 240450234E & 240450235E, Effective Date August 17, 2015.
 - No abstract title was provided prior to this survey.
 - This survey was based on physical evidence and current plats of record.

