

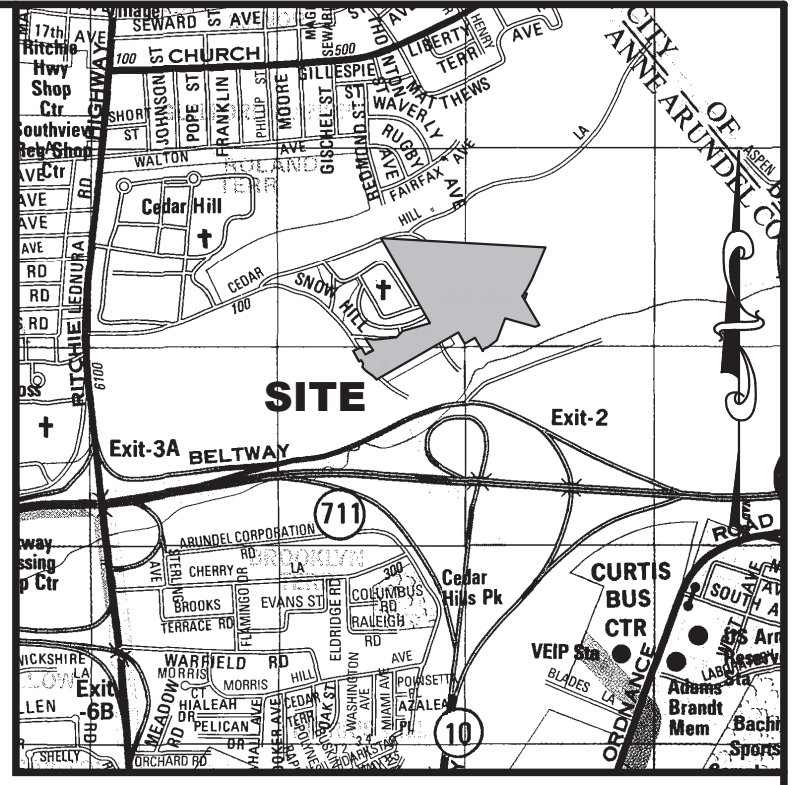
SEQUENCE OF CONSTRUCTION

- NOTIFY THE DEPARTMENT OF INSPECTIONS AND PERMITS (410-222-7780) AT LEAST 48 HOURS BEFORE COMMENCING WORK... CONTRACTOR IS RESPONSIBLE FOR PUMPING ALL STANDING WATER THROUGH A FILTER BAG TO A CLEAN WATER STABLE OUTLET WITHIN 24 HOURS FOLLOWING ANY STORM EVENT... AFTER EACH STORM EVENT, THE CONTRACTOR/DEVELOPER IS TO INSPECT ALL SEDIMENT CONTROL DEVICES AND REPAIR/REPLACE ANY DAMAGE CAUSED BY THE STORM... THE PERMITEE OR CONTRACTOR SHALL NOT COMMENCE WITH CLEARING OR ANY EARTH DISTURBANCE ACTIVITIES ON THE SITE DURING OR BEFORE PREDICTED WET WEATHER EVENTS...

CEDAR HILL - PLANNED UNIT DEVELOPMENT PHASE III GRADING PLANS

CALL MISS UTILITY OR 811 BEFORE YOU DIG! 811

STORMWATER MANAGEMENT HOA WARRANTY NOTE Per Anne Arundel County Code 16-4-302 (c) (2), the applicant is required to provide a written warranty of all BMPs that will be owned or maintained by a Home Owner Association (HOA) This grading permit # G2019943 includes 28 BMP facilities that will be owned or maintained by the HOA



- 1 DAY 1. CLEAR FOR AND INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) AT BOTH LOCATIONS... 2 DAYS 2. CLEAR FOR AND INSTALL TREE PROTECTION FENCE... 1 WEEK 3. CLEAR FOR AND INSTALL CLEAR WATER DIVERSION DIKES... 1 WEEK 4. CLEAR FOR AND CONSTRUCT THE FOLLOWING STORM DRAIN AND STILLING BASIN FOR OUTFALL FROM PROPOSED SEDIMENT TRAPS... 1 WEEK 5. CLEAR FOR AND CONSTRUCT ALL PROPOSED SEDIMENT TRAPS AS FOLLOWS: A. CLEAR AND GRUB AS NECESSARY TO ACCESS AND CONSTRUCT SEDIMENT TRAPS... B. EXCAVATE SEDIMENT TRAP TO SPECIFIED BOTTOM ELEVATION AND GRADE SIDES... C. TEMPORARILY STABILIZE THE SEDIMENT TRAPS PER THE SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT... D. INSTALL EROSION CONTROL MONITORING DEVICES IN ACCORDANCE WITH AASCO CODE ARTICLE 16-3-206... E. INSTALL EARTH DIKES... NOTE: SPOIL MATERIAL SHOULD BE PLACED UPSTREAM OF SEDIMENT TRAP IN DESIGNATED STOCKPILE AREAS.

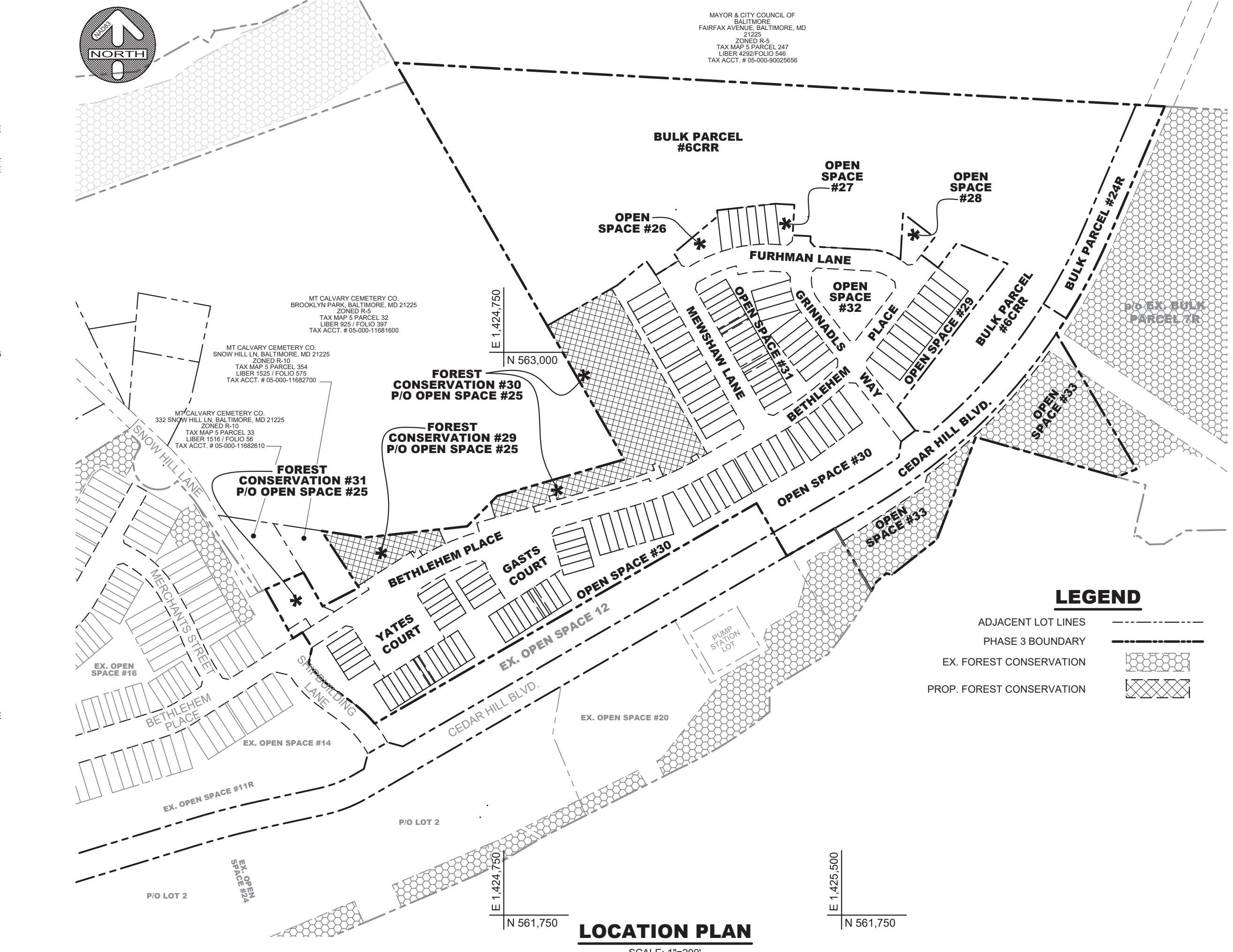
- 1 DAY 6. INSPECT EXISTING SEDIMENT BASIN #4 AND MAKE ANY NECESSARY REPAIRS... 1 WEEK 7. CLEAR AND ROUGH GRADE SITE IN ALL AREAS OUTSIDE THE SEDIMENT TRAPS... 2 WEEKS 8. CLEAR FOR AND INSTALL ALL PRIVATE STORM DRAIN ON-SITE... 3 DAYS 9. CLEAR AND ROUGH GRADE REMAINDER OF SITE... 3 DAYS 10. FINE GRADE ROADWAY... 1 WEEK 11. ONCE MECHANICAL STABILIZATION IS PROVIDED, WITH INSPECTORS APPROVAL... 1 WEEK 12. INSTALL CURB AND GUTTER... 1 WEEK 13. WITH INSPECTORS APPROVAL, INSTALL BIOSWALE SWMP #1, SWMP #2, AND SWMP #3... 2 DAYS 14. INSTALL ROAD BASE COURSE AND BASE PAVING... 1 DAY 15. AFTER BASE PAVING AND TEMPORARILY STABILIZING UPSTREAM AREAS... PHASE III NOTE: LOT CONSTRUCTION MAY NOT COMMENCE UNTIL MECHANICAL STABILIZATION HAS BEEN INSTALLED TO SAID LOTS. HOUSE CONSTRUCTION ON ALL LOT EXCEPT LOTS 62-77 AND 109-114.

- 1 DAY 16. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ALL SEDIMENT TRAPS... 2 WEEKS 17. CONSTRUCT PROPOSED FOUNDATION, FOOTINGS, AND ASSOCIATED IMPROVEMENTS... 120 DAYS 18. ONCE THE SITE IS STABILIZED, WITH THE GRADING INSPECTORS APPROVAL... 2 DAYS 19. FINAL GRADE AND STABILIZE ALL DISTURBED AND AFFECTED AREAS... 1 DAY 20. WITH GRADING INSPECTORS APPROVAL, REMOVE ANY LOT SEDIMENT CONTROLS... 1 WEEK 21. ONCE LOTS 84-108 & 115-123 HAVE BEEN CONSTRUCTED AND ARE PERMANENTLY STABILIZED... 120 DAYS 22. BEGIN HOME CONSTRUCTION ON LOTS 109-114... 1 WEEK 23. ONCE THE DRAINAGE AREAS LEADING TO SWMP #11 & 12 AND SEDIMENT TRAP #1... 1 WEEK 24. BEGIN HOME CONSTRUCTION ON LOTS 62-67... 1 WEEK 25. ONCE THE DRAINAGE AREAS LEADING TO SWMP #21, #22, & #23... 120 DAYS 26. BEGIN HOME CONSTRUCTION ON LOTS 68-77... 1 WEEK 27. ONCE THE DRAINAGE AREA TO EACH OF THE REMAINING STORMWATER MANAGEMENT PRACTICES... 3 DAYS 28. INSTALL NON-STORMWATER MANAGEMENT LANDSCAPING... 3 DAYS 29. MAINTENANCE... 1 WEEK 30. ONCE LOTS 67-105 HAVE BEEN CONSTRUCTED AND 95% OF THE CONTRIBUTING DRAINAGE AREAS... 2 DAYS 31. INSTALL SURFACE COURSE TO PROPOSED ROAD... 1 DAY 32. INSTALL ALL REMAINING LANDSCAPING... 1 DAY 33. WITH GRADING INSPECTOR APPROVAL, REMOVE INDIVIDUAL SEDIMENT CONTROLS... 1 DAY 34. STABILIZE ANY REMAINING DISTURBED AREAS.

STANDARD RESPONSIBILITY NOTES

- (WE) CERTIFY THAT: A. ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN... B. ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S APPROVED TRAINING PROGRAM... C. IF APPLICABLE, THE APPROPRIATE ENCLOSURE WILL BE CONSTRUCTED AND MAINTAINED ON SEDIMENT BASIN(S) INCLUDED IN THIS PLAN... 2. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHT- AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED... 3. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT AND/OR TEMPORARY STABILIZATION PER THE AASCO DETAILS AND SPECIFICATIONS... 4. THE GRADING AND SEDIMENT CONTROL APPROVAL ON THIS PLAN EXTENDS ONLY TO THOSE AREAS WITHIN THE LIMITS OF DISTURBANCE... 5. THE APPROVAL OF THIS PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH FEDERAL, STATE OR COUNTY REQUIREMENTS PERTAINING TO ENVIRONMENTAL ISSUES... 6. THE DEVELOPER MUST REQUEST THAT THE SEDIMENT AND EROSION CONTROL INSPECTOR APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN... 7. ALL MATERIAL SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN... 8. FIRST PHASE INSPECTION AND APPROVAL OF THE SEDIMENT AND EROSION CONTROL INSPECTOR SHALL BE REQUIRED UPON COMPLETION OF THE INSTALLATION OF EROSION AND SEDIMENT CONTROLS... 9. APPROVAL FROM THE INSPECTOR MUST BE REQUESTED ON FINAL STABILIZATION OF ALL SITES PRIOR TO REMOVAL OF SEDIMENT AND EROSION CONTROLS... 10. EXISTING TOPOGRAPHY MUST BE FIELD VERIFIED BY RESPONSIBLE PERSONNEL TO THE SATISFACTION OF THE SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING WORK.

PRINT: NAME: C. WAYNE CAPLES TITLE: AGENT AFFILIATION: CEDAR HILL DEVELOPMENT, INC ADDRESS: 2407 FREDERICK RD., CLARKSBURG, MD 20871 TELEPHONE NUMBER: (240) 618-0981 E-MAIL ADDRESS: WCAPLES@PEASANTS.ORG 10/24/2024 DATE



LOCATION PLAN

SCALE: 1"=200'

MODIFICATION NOTE

- MODIFICATION #9534AA TO 1) ARTICLE 17-3-506(C) TO REDUCE THE ACTIVE RECREATION ARE REQUIREMENT FROM 14.4 ACRES TO 7.5 ACRES BASED ON PROVIDING RECREATIONAL FACILITIES AND AMENITIES... MODIFICATION #10275 TO REMOVE 3 SPECIMEN TREES (44.54, 44.58 AND 42A) WAS GRANTED BY THE OFFICE OF PLANNING AND ZONING ON MARCH 25, 2009... MODIFICATION #16333 TO ELIMINATE THE SKETCH PLAN PROCESS FOR PARCEL 87 WAS GRANTED BY THE OFFICE OF PLANNING AND ZONING ON JANUARY 5, 2021... MODIFICATION #16623 TO DPW DESIGN MANUAL FOR ROAD STANDARDS FOR STANDARD CROSS SECTION REQUIREMENTS AND LOCATION OF DRIVEWAYS WAS GRANTED BY THE OFFICE OF PLANNING AND ZONING ON OCTOBER 15, 2021.

R-10 SETBACK REQUIREMENTS FOR TOWNHOME DWELLING UNITS

FOR BUILDING SETBACKS, REFER TO THE CEDAR HILL PLD DEVELOPMENT DESIGN REQUIREMENTS FOR SETBACKS, BUILDING SEPARATION, HEIGHT AND PARKING REQUIREMENTS LOCATED ON SHEET 2 OF THIS PLAN SET.

PARKING RESTRICTION NOTE

DUE TO THE PROPOSED PAVEMENT WIDTH OF LESS THAN 28', NO PARKING WILL BE WITHIN THE STREET ON EITHER SIDE OF YATES COURT, GASTS COURT, MEWSHAW LANE, FURMAN LANE, AND GRIMALDS WAY... 'NO PARKING' WILL BE REQUIRED BY THE FIRE DEPARTMENT AS DEEMED NECESSARY FOR ADEQUATE ACCESS AND OPERATIONAL REQUIREMENTS.

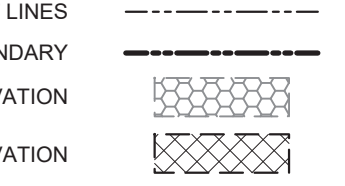
PARKING TABULATIONS

Table with 2 columns: Description and Spacing. Rows include: 2-25 SPACES/UNIT x 55 (16' WIDE) TOWNHOME UNITS (124 SPACES PROVIDED), 2-25 SPACES/UNIT x 52 (20' WIDE) TOWNHOME UNITS (117 SPACES PROVIDED), 2-25 SPACES/UNIT x 16 (22' WIDE) TOWNHOME UNITS (36 SPACES PROVIDED), and TOTAL SURFACE PARKING SPACES PROVIDED (137 SPACES).

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LEGEND



CONSULTANT'S CERTIFICATION

THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS ADEQUATE TO CONTAIN THE SILT AND EROSION ON THE PROPERTY COVERED BY THE PLAN. I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AASCO PLAN SUBMITTAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL, EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

Professional seal and signature block for Steve Andracka, State of Maryland Professional Engineer, License No. 18882, dated 10/24/2024.

STATEMENT OF ACCESSIBILITY REVIEW NOTE

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED IN CONFORMANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, COUNTY CODE, MARYLAND ACCESSIBILITY CODE AND ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES - ICC A117.1-2009 STANDARD.

PRINT NAME: STEVEN T. ANDRACKA SIGNATURE: DATE:

Professional seal and signature block for Steve Andracka, State of Maryland Professional Engineer, License No. 18882, dated 10/24/2024.

VICINITY MAP

SCALE: 1"=200' COPYRIGHT ACC TO THE MAP PEOPLE PERMITTED USE NUMBER BJE031255

GENERAL NOTES

- 1. THE COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE MARYLAND SYSTEM OF PLANE COORDINATES NAD 83... 2. THE BOUNDARY IS BASED UPON A FIELD SURVEY PERFORMED BY ANAREX, INC., DATED JANUARY, 2006... 3. AERIAL TOPOGRAPHY PROVIDED BY ANAREX, INC., DATED SEPTEMBER, 2005... 4. THE SITE IS WITHIN THE PATAPSCO TIDAL WATERSHED... 5. ALL PROPOSED EASEMENTS TO BE PERMANENT... 6. THE COORDINATES, BEARINGS, AND ELEVATIONS SHOWN HEREON ARE BASED ON THE MARYLAND SYSTEM OF PLANE COORDINATES NAD 83... 7. THE LOCATIONS OF THE FEATURES SHOWN ON THE RESOURCE MAP HAVE BEEN FIELD VERIFIED... 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS FOR CONSTRUCTION OF STORM DRAINS, ROADS AND STORMWATER MANAGEMENT, JANUARY, 2001... 9. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM DUE TO THEIR NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE... 10. THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION... 11. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO SPECIFICALLY MENTION ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH THESE DRAWINGS... 12. THE CONTRACTOR SHALL NOTIFY BGE (410) 234-5691, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS... 13. THE CONTRACTOR SHALL NOTIFY THE C & P TELEPHONE COMPANY, (301) 393-3648, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS... 14. THE CONTRACTOR SHALL NOTIFY MISS UTILITY, 1-800-257-7777, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS... 15. THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN... 16. STRUCTURAL FILL FOR FUTURE PAVED AND BUILDING AREAS SHALL BE COMPACTED TO 95% MINIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR). COMPACTION TESTS IN PAVED AREAS SHALL BE TAKEN TO SUB-BASE AND MINIMUM 15 FEET BEYOND LIMITS OF PAVED AREAS... 17. ALL UTILITY POLES SHALL BE BRACED AS NECESSARY AT CONTRACTOR'S EXPENSE. UTILITY POLES SHALL BE RELOCATED AT THE OWNER'S EXPENSE IN CASES WHERE THEY WILL INTERFERE WITH CONSTRUCTION.

SITE ANALYSIS

- 1. TOTAL SITE AREA: 1,011,035 S.F. / 23.21 AC.
2. EXISTING ZONING: R-10
3. EXISTING USE OF THE SITE: WOODED
4. PROPOSED USE: 123 TOWNHOMES
5. THE SITE IS NOT WITHIN THE CRITICAL AREA.
6. CUT: 7875 CU. YARDS
7. FILL: 60,950 CU. YARDS 17,785 CU. YARDS SPILL
8. NOTE: CUT AND FILL QUANTITIES PROVIDED DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL...
9. TOTAL AREA STRUCTURALLY STABILIZED IS 8.75 AC.
10. TOTAL AREA VEGETATIVELY STABILIZED IS 11.43 AC.
11. TOTAL AREA OF THE FIRST TERRACE: 18.18 AC.

Anne Arundel Soil Conservation District Sediment and Erosion Control Approval

Approval signature block with date 10/29/2024 and permit number LUZ1-0052.

G2019943

GRADING PLANS

COVER SHEET / LOCATION MAP / DETAILS CEDAR HILL - PLANNED UNIT DEVELOPMENT PHASE III 123 TOWNHOMES

TAX MAP: 5 BLOCK, 1 PARCEL: 23 (BULK PARCELS 5RR, 6GR & 24) & PARCEL 87 SUBDIVISION # 2007-003 PROJECT # 2021-1006-00-NF SCALE: AS SHOWN ZONING: R-10 5TH ASSESSMENT DISTRICT OCTOBER, 2024 ZIP CODE: 21225 ANNE ARUNDEL COUNTY, MARYLAND

OWNER(S) / DEVELOPER: CEDAR HILL DEVELOPMENT C/O PLEASANTS DEVELOPMENT ATTN: MR. WILLIAM PLEASANTS, JR. 24012 FREDERICK RD., SUITE 200 CLARKSBURG, MD 20871

Table with columns: DESIGNED, DRAWN, CHECKED, APPROVED, REVISIONS (DATE, BY, DESCRIPTION, APPROVED, DATE).

DFI ENGINEERS-SURVEYORS-PLANNERS CONSTRUCTION MANAGERS 1127 BENFIELD BLVD, SUITE K MILLERSVILLE, MD 21108 WWW.DFIENGINEERING.COM 443-308-2100 FAX 443-308-2108

Professional seal and signature block for Steve Andracka, State of Maryland Professional Engineer, License No. 18882, dated 10/24/2024.

SHEET 1 OF 67