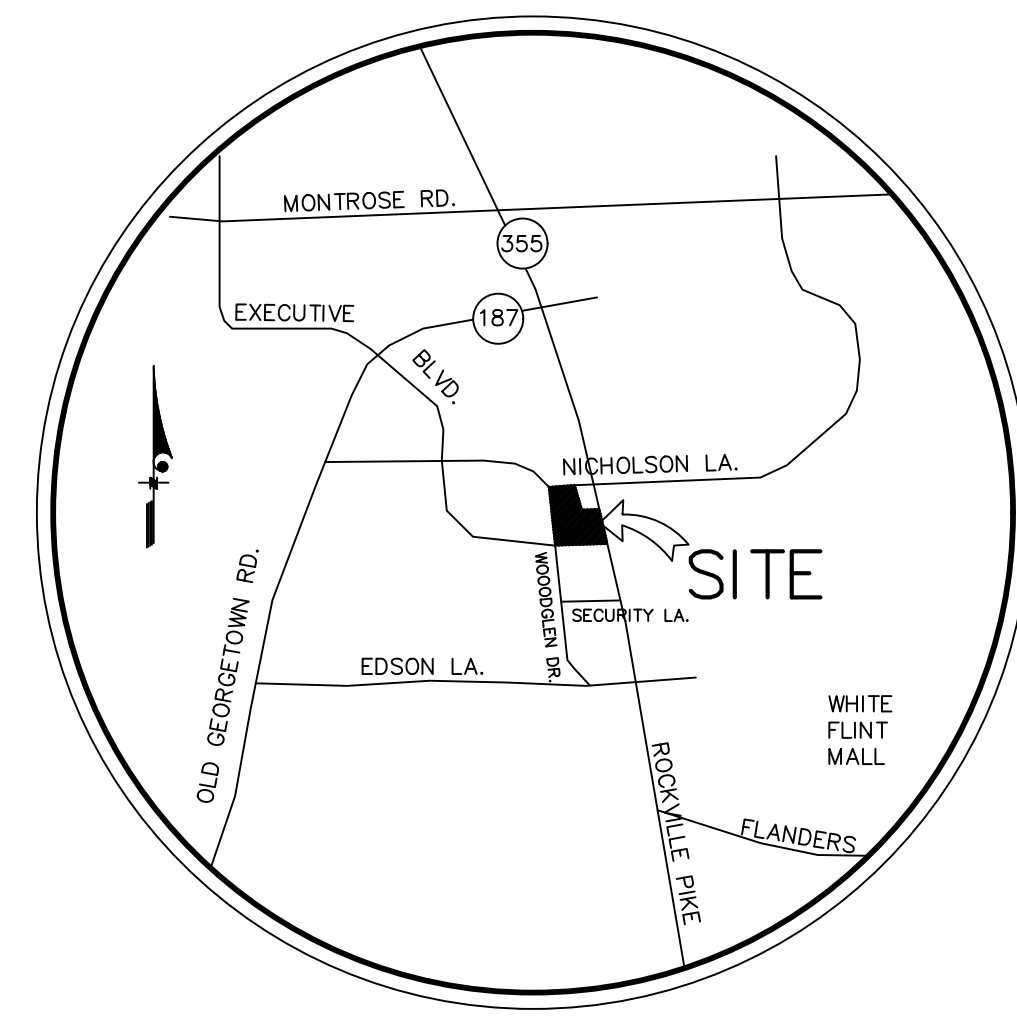




APPROVED
Department of Permitting Services
Permit # **SEDIMENT-297245**
Date **10/24/2025**
Stamped By: Mark Etheridge

NORTH BETHESDA MARKET II

EROSION AND SEDIMENT CONTROL PLAN



DESIGN CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL, EROSION AND SEDIMENT CONTROL, MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES EXECUTIVE REGULATIONS 5-90, 7-02AM AND 36-80, AND MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION "STORM DRAIN DESIGN CRITERIA" DATED AUGUST 2015.

Andrew Bradshaw 2/5/2025
DESIGN ENGINEER SIGNATURE DATE
ANDREW BRADSHAW 35287
PRINTED NAME REGISTRATION NUMBER

CERTIFICATION OF THE QUANTITIES
I HEREBY CERTIFY THAT THE ESTIMATED TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO 2,944 CUBIC YARDS OF EXCAVATION, 407 CUBIC YARDS OF FILL AND THE TOTAL AREA TO BE DISTURBED AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE 160,942 SQ. FT.

Andrew Bradshaw 2/5/2025
SIGNATURE DATE
ANDREW BRADSHAW 35287
PRINTED NAME AND TITLE REGISTRATION NUMBER

OWNER'S/DEVELOPER'S CERTIFICATION
I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

Michael Majestic 5/9/25
SIGNATURE DATE
MICHAEL MAJESTIC DEVELOPER
PRINTED NAME AND TITLE

DEPARTMENT OF PERMITTING SERVICES
Caleb Reid Director

Andrew M. Bradshaw, P.E.
Johnson Bernat Associates, Inc.
1295 Piccard Drive, Suite 300
Rockville, MD 20850

Re: Stormwater Management CONCEPT Reconfirm for North Bethesda Market II
Primary Plan #: 12012060
SM File # 240712
Tract Size: 4.4 Ac./CR-3 & CR-4
Total Concept Area: 3.52 Ac.
Lot/Block: 16
Parcel(s): N623, N624, N678
Watershed: Lower Rock Creek

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above mentioned site is acceptable. The stormwater management concept to meet required stormwater management goals via ESD to the MEP with the use of micro-buffers and green roof. This will be supplemented with structural volume based proprietary filters to meet full onsite control of stormwater management.

The following items will need to be addressed prior to the detailed sediment control/stormwater management plan stage:

- Prior to permanent vegetative stabilization, all disturbed areas must be topsoiled per the latest Montgomery County Standards and Specifications for Topsoiling.
- A detailed review of the stormwater management computations will occur at the time of detailed plan review.
- An engineered sediment control plan must be submitted for this development.
- All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.
- Provide adequate access to all structures for inspection and maintenance. Show access path for underground structures on design plans. Also provide a narrative on the plan that details how to access the green roofs and micro-buffers.
- At a minimum please provide 22,042 square feet (sq) of green roof. 17,003 of it will be 4 inches deep and 5,039 sq ft will be 8 inches deep. Try to increase the total amount of green roof coverage as well as increase the amount of 8 inch green roof.
- Easements and covenants will be required for all stormwater structures.

240-777-6332

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-60 is not required.

This letter must appear on the sediment control/stormwater management plan at its final submit. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to the office, or additional information received during the development process or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approved actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact David Kuykendall at 240-777-6332.

Richard R. Brann
Richard R. Brann, Manager
Water Resources Section
Division of Land Development Services

RR# 16 0240712 North Bethesda Market II.DWG
cc: C. Canton SM File # 240712
ESD Area: 3.58 0.75
STRUCTURAL Area: 3.98
WAIVED Area: 0.00

FOR SEDIMENT CONTROL APPLICATIONS AS OF APRIL 30, 2024

TREE CANOPY REQUIREMENTS TABLE
To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Management plan set for all projects. A fee in lieu of planting will be charged for any required canopy trees that are not planted.

Exempt: Yes No If exempt under Section 55-5 of the Code, please check the applicable exemption category below.

Total Property Area	Total Disturbed Area
152,760 square feet	160,942 square feet

Shade Trees Required	Shade Trees Proposed to be Planted
0	0

Number of Trees Requiring Payment of a Fee in Lieu (Trees Required - Trees Planted)

0 Trees

Required Number of Shade Trees

Area (sq. ft.) of the Limits of Disturbance	Number of Shade Trees Required
FROM 1 TO 6,000	3
6,001 TO 8,000	6
8,001 TO 12,000	9
12,001 TO 14,000	12
14,001 TO 40,000	15

If the square footage of the limits of disturbance is more than 40,000, then the number of shade trees required must be calculated using the following formula:
(Number of Square Feet in Limits of Disturbance ÷ 40,000) × 15

EXEMPTION CATEGORIES CHECK AS APPLICABLE

55-5(a) any activity that is subject to Article II of Chapter 22A;
 55-5(b) any commercial logging or timber harvesting operation with an approved exemption from Article II of Chapter 22A;
 55-5(c) any activity conducted by the County Parks Department;
 55-5(d) routine or emergency maintenance of an existing stormwater management facility, including an existing access road, if the person performing the maintenance has obtained all required permits;
 55-5(e) any stream restoration project if the person performing the work has obtained all necessary permits;
 55-5(f) cutting or clearing any tree to comply with applicable provisions of any federal, state, or local law governing safety of dams;
 OTHER: Specify per Section 55-5 of the Code.

DEPARTMENT OF PERMITTING SERVICES
Mark Elsh County Executive
Rabih Sabhan Director

March 8, 2023

Mr. Andrew M. Bradshaw, P.E.
Johnson Bernat Associates, Inc.
205 North Frederick Avenue, Suite 100
Gaithersburg, MD 20877

Re: Stormwater Management CONCEPT RECONFIRMATION North Bethesda Market II SWM Concept #240712

Dear Mr. Bradshaw:

Your request for a stormwater management reconfirmation for the above site has been evaluated. The original approved SWM concept dated August 31, 2011 and 4 subsequent Reconfirmations of November 21, 2014 are hereby reconfirmed. Please adhere to all conditions required as part of that approval.

If you have any questions regarding these actions, please feel free to contact David Kuykendall at 240-777-6332.

August 2023

RELATED REQUIRED PERMITS
To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Management plan set for all projects.

TYPE OF PERMIT	REQD	NOT REQD	PERMIT #	EXPIRATION DATE	WORK RESTRICTION DATES
MCDCS Floodplain District	✓				
WATERWAYS/WETLANDS:		✓			
a. Corps of Engineers		✓			
b. MDE		✓			
c. MDE Water Quality Certification		✓			
MDE Dam Safety		✓			
MDCD Small Pond Approval		✓			
* DPS Roadside Trees Protection Plan	✓		#397810	Approval Date 11/5/24	
** N.P.D.E.S. NOTICE OF INTENT	✓				
FEMA LDMR (Required Post Construction)	✓				
OTHERS (Please List):	✓				

* A copy of the approved Roadside Trees Protection Plan must be delivered to the Sediment Control Inspector at the Preconstruction Meeting.

** When a Notice of Intent is required, the sediment control permit may not be issued until confirmation of authorization under the MDE's 20-CP permit has been submitted to DPS.

OTHER PERMITS:
PUBLIC ROW PERMIT #397810
SHA PERMIT #11APMO055X
NOI PERMIT #20CPPO9NG

APPLICANT INFORMATION
NAME: NoBE Owner, LLC
c/o SCG Development
contact: Michael Majestic
ADDRESS: 4800 Hampton Lane S.800
Bethesda, MD 20814
PHONE: (301) 657-7325
EMAIL: mmajestic@willentreal.com

ENGINEER INFORMATION
NAME: JOHNSON BERNAT ASSC.
C/O ANDREW BRADSHAW
ADDRESS: 205 N. FREDERICK AVE. SUITE 100
GAITHERSBURG, MD 20877
PHONE: (301) 963-1133
EMAIL: abradshaw@jba-inc.com

SHEET INDEX:

FILE NAME (DESCRIPTION)	SHEET NO.	PLANSSET NAME	SC/SWM_NO.
TITLE SHEET	C2.00	SC0001	01 OF 16
SEDIMENT CONTROL - PHASE 1	C2.01	SC0002	02 OF 16
SEDIMENT CONTROL - PHASE 2	C2.02	SC0003	03 OF 16
SEDIMENT CONTROL - PHASE 3	C2.03	SC0004	04 OF 16
SEDIMENT CONTROL - NOTES AND DETAILS	C2.04	SC0007	05 OF 16
STORMWATER MANAGEMENT PLAN & DRAINAGE AREA PLAN	C4.01	SC0008	06 OF 16
STORMWATER MANAGEMENT - STORM VAULT 1 & 2	C4.02	SC0008A	07 OF 16
STORMWATER MANAGEMENT - STORM VAULT 3	C4.03	SC0008B	08 OF 16
STORMWATER MANAGEMENT - MICRO-BIORETENTIONS	C4.04	SC0008C	09 OF 16
STORMWATER MANAGEMENT - INSPECTORS CHECKLIST	C4.05	SC0008D	10 OF 16
STORMWATER MANAGEMENT DETAILS	C4.06	SC0009	11 OF 16
STORMWATER MANAGEMENT PROFILES	C4.07	SC0009A	12 OF 16
PLANTING PLAN-BIO-RETENTION	L104	SC0010	13 OF 16
SWM PRE-CAST VAULTS	S109	SC0011	14 OF 16
SWM STRUCTURAL NOTES	S110	SC0012	15 OF 16
SWM STRUCTURAL PLANS AND DETAILS	S111	SC0013	16 OF 16

RECORD DRAWING CERTIFICATION

A record set of approved Sediment Control/Stormwater Management plans must be maintained on-site at all times. In addition to stormwater management items, these plans must include the number and location of all trees proposed to be planted to comply with the Tree Canopy Law. Any approved modifications or deletions of stormwater practices or tree canopy plantings or information must be shown on this record set of plans and on the Tree Canopy Requirements table. Upon completion of the project, this record set of plans, including hereon this signed Record Drawing Certification, must be submitted to the MCDCPS inspector. In addition to this Record Drawing Certification, a formal Stormwater Management As-Built submission [X] is required [] is not required for this project.

If this project is subject to a Stormwater Management Right of Entry and Maintenance Agreement, that document is recorded in Montgomery County Land Records at:

Liber N/A Folio N/A. This Record Drawing will serve as referenced in the recorded document.

Owner/Developer Signature _____ Date _____

FIELD CHECK OF RECORD DRAWING BY MCDCPS INSPECTOR: INITIALS: _____ DATE: _____

Effective for sediment control permit applications made on or after January 1, 2016.

STANDARD STABILIZATION NOTE

Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:

a) Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and

b) Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.

STANDARDS & SPECIFICATIONS FOR DUST CONTROL

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE SO AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.

2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL. THE CONTRACTOR SHALL SPRAY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.

FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:

A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE.
B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER.
C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8kPa), MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS FLOODING.

FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:

A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES.
B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS FLOODING.
C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES.

STREET SWEEPING

1. STREETS WITHIN ONE MILE (1.6 km) SHALL BE INSPECTED DAILY AND DROPPED SOIL, DIRT AND/OR DEBRIS SHALL BE REMOVED.
2. MAINTAIN TYPE STREET CLEANING EQUIPMENT TO BE USED TO PROMPTLY REMOVE DIRT AND DIRT ON PAVED SURFACES.
3. ROADS SHALL BE SWEEP ON A WEEKLY BASIS (MINIMUM DURING ALL ON AND OFF SITE MAINTENANCE OPERATIONS FOR UP TO ONE MILE (1.6 km).

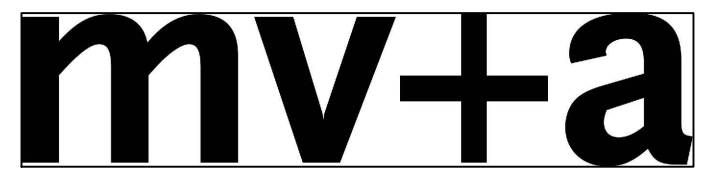
SC/SWM - 01 of 16

TECHNICAL REVIEW OF SEDIMENT CONTROL	ADMINISTRATIVE REVIEW
Patrick Fitzgerald 10/23/2025	Patrick Fitzgerald 10/23/2025
REVIEWED DATE	REVIEWED DATE
TECHNICAL REVIEW OF STORMWATER MANAGEMENT	SMALL LOT DRAINAGE APPROVAL
Patrick Fitzgerald 10/23/2025	N/A <input type="checkbox"/> OR <input type="checkbox"/>
REVIEWED DATE	REVIEWED DATE
MCDCPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT STARTED.	NOTE: MCDCPS APPROVAL DOES NOT NEGATE THE NEED FOR A MCDCPS ACCESS PERMIT.

SEDIMENT CONTROL PERMIT NO. 240712

SM FILE NO. 297245

STORMWATER MANAGEMENT: ESD to MEP, Micro-Bio planters (26) and Structural Storm Filters (3), CN Waiver Required



OWNER
Woodgen Master Owner, LLC
Woodgen Master Owner II, LLC
4800 Hampton Ln, Suite 800
Bethesda, MD 20814
Tel: 301.657.7325

APPLICANT
NoBE Owner, LLC
c/o SCG Development
8245 Boone Blvd, Suite 640
Tysons Corner, VA 22182
Tel: 703.520.0828

ARCHITECT
MVA | Mashinsky Voeikhe Associates, CHD
1200 G Street, Suite 250
Washington, DC
Tel: 202.682.2822

CIVIL ENGINEER
Johnson Bernat Associates, Inc.
205 N Frederick Suite 100
Gaithersburg, MD 20877
Tel: 301.963.1133

LANDSCAPE ARCHITECT
LandDesign, Inc.
1200 G Street, Suite 250
Alexandria, VA 22314
Tel: 703.543.7784

STRUCTURAL ENGINEER
Structura, Inc.
12358 Parktown Dr Suite 140
North Bethesda, MD 20852
Tel: 301.987.9234

MEP ENGINEER
Soth Engineering, Inc.
509 Germantown Pike Bldg 2
Lafayetteville, PA 19444
Tel: 215.774.1429

North Bethesda Market II

NORTH BETHESDA, MARYLAND

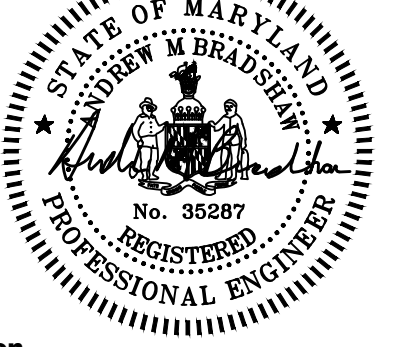
SEDIMENT CONTROL PLAN
TITLE SHEET

PROJECT NUMBER
22002.00

REV.	ISSUE:	DATE
	Permit Set	10-22-24

KEY PLAN

DRAWING STAMP



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Lic# 15029
Expiration Date: 01-07-28

SHEET NUMBER

C-2.00



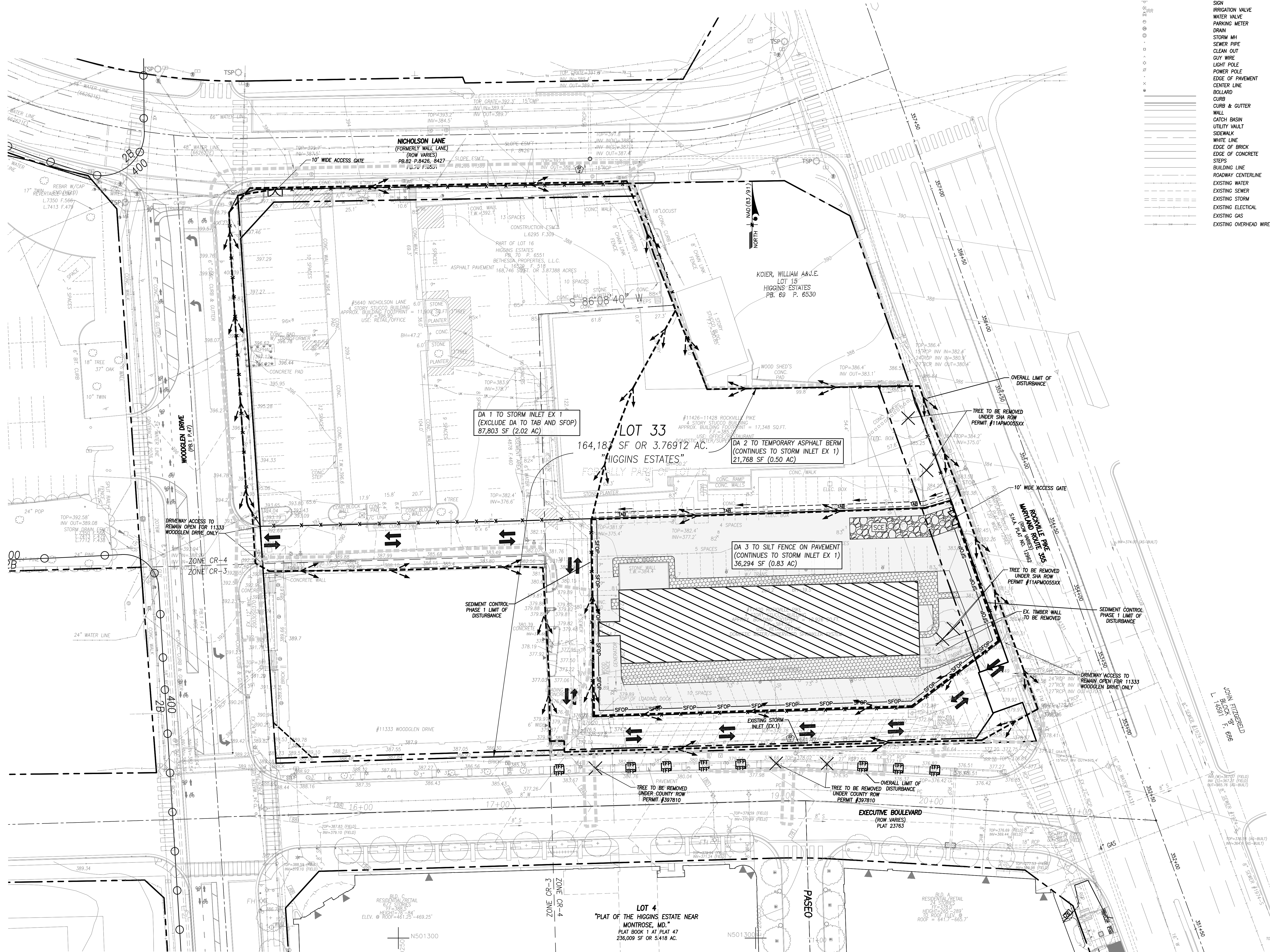
LEGEND

- TRASH CAN
- GROUND SHOT
- VAULT PERIOD
- ROAD SIGN
- SIGN
- IRRIGATION VALVE
- WATER VALVE
- PARKING METER
- DRAIN
- STORM MH
- SEWER PIPE
- CLEAN OUT
- GUY WIRE
- LIGHT POLE
- POWER POLE
- EDGE OF PAVEMENT
- CENTER LINE
- BOLLARD
- CURB
- CURB & GUTTER
- WALL
- CATCH BASIN
- UTILITY VAULT
- SIDEWALK
- WHITE LINE
- EDGE OF BRICK
- EDGE OF CONCRETE
- STEPS
- BUILDING LINE
- ROADWAY CENTERLINE
- EXISTING WATER
- EXISTING SEWER
- EXISTING STORM
- EXISTING ELECTRICAL
- EXISTING GAS
- EXISTING OVERHEAD WIRES

SEDIMENT CONTROL LEGEND

- LIMIT OF DISTURBANCE (ULTIMATE)
- LIMIT OF DISTURBANCE (PHASE 1)
- CONSTRUCTION FENCE
- REMOVAL OF EXISTING CURB AND GUTTER
- REMOVAL OF EXISTING BUILDING & SLAB
- REMOVAL OF EXISTING CONCRETE
- REMOVAL OF EXISTING ASPHALT
- DRAINAGE DIVIDES WITH FLOW DIRECTION ARROWS
- ACCESS ROUTE TO 11333 WOODGLEN DRIVE
- STABILIZED CONSTRUCTION ENTRANCE
- SIP
- STANDARD INLET PROTECTION
- TEMPORARY ASPHALT BERM
- SILT FENCE ON PAVEMENT
- TREE PROTECTION FENCE
- TREE TO BE REMOVED

NOTE: DEMO PERMIT #1083046 ALLOWED FOR DEMO OF THE BUILDING DOWN TO SLAB, THE SLAB FOUNDATIONS, AND SUB-SLAB UTILITIES WILL BE REMOVED AS PART OF THIS PERMIT.



OWNER
 Woodglen Master Owner, LLC
 Woodglen Master Owner II, LLC
 4800 Hampton Ln, Suite 800
 Bethesda, MD 20814
 Tel: 301.657.7325

ARCHITECT
 Mv+a | Mashinsky Voeikse Associates, CHD
 1200 G Street, Suite 250
 Washington, DC
 Tel: 202.682.2822

CIVIL ENGINEER
 Johnson Bernat Associates, Inc.
 205 N Frederick Suite 100
 Gaithersburg, MD 20877
 Tel: 301.963.1133

LANDSCAPE ARCHITECT
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 200 S Peyton St
 Alexandria, VA 22314
 Tel: 703.549.7794

STRUCTURAL ENGINEER
 Structura, Inc.
 12358 Parklawn Dr Suite 140
 North Bethesda, MD 20852
 Tel: 301.987.9234

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 509 Germantown Pike Bldg 2
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North Bethesda Market II

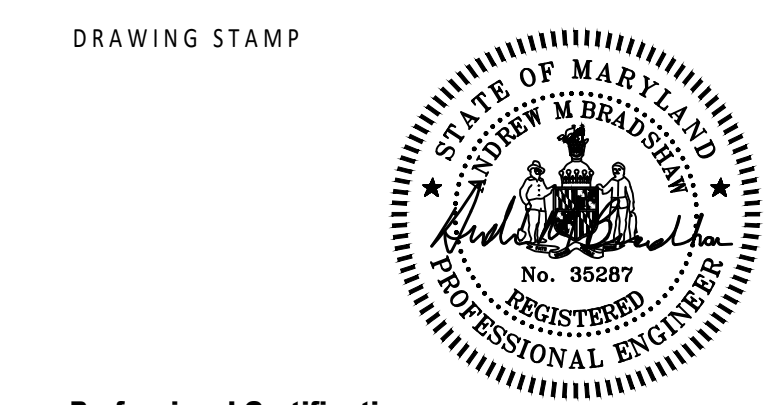
NORTH BETHESDA, MARYLAND

SEDIMENT CONTROL PLAN
 PHASE 1

PROJECT NUMBER
 22002.00

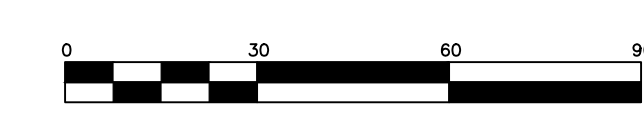
REV.	ISSUE	DATE
1	Permit Set	10-22-24

KEY PLAN



Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No.: 38287
 Expiration Date: 01-07-26

SHEET NUMBER
 C-2.01



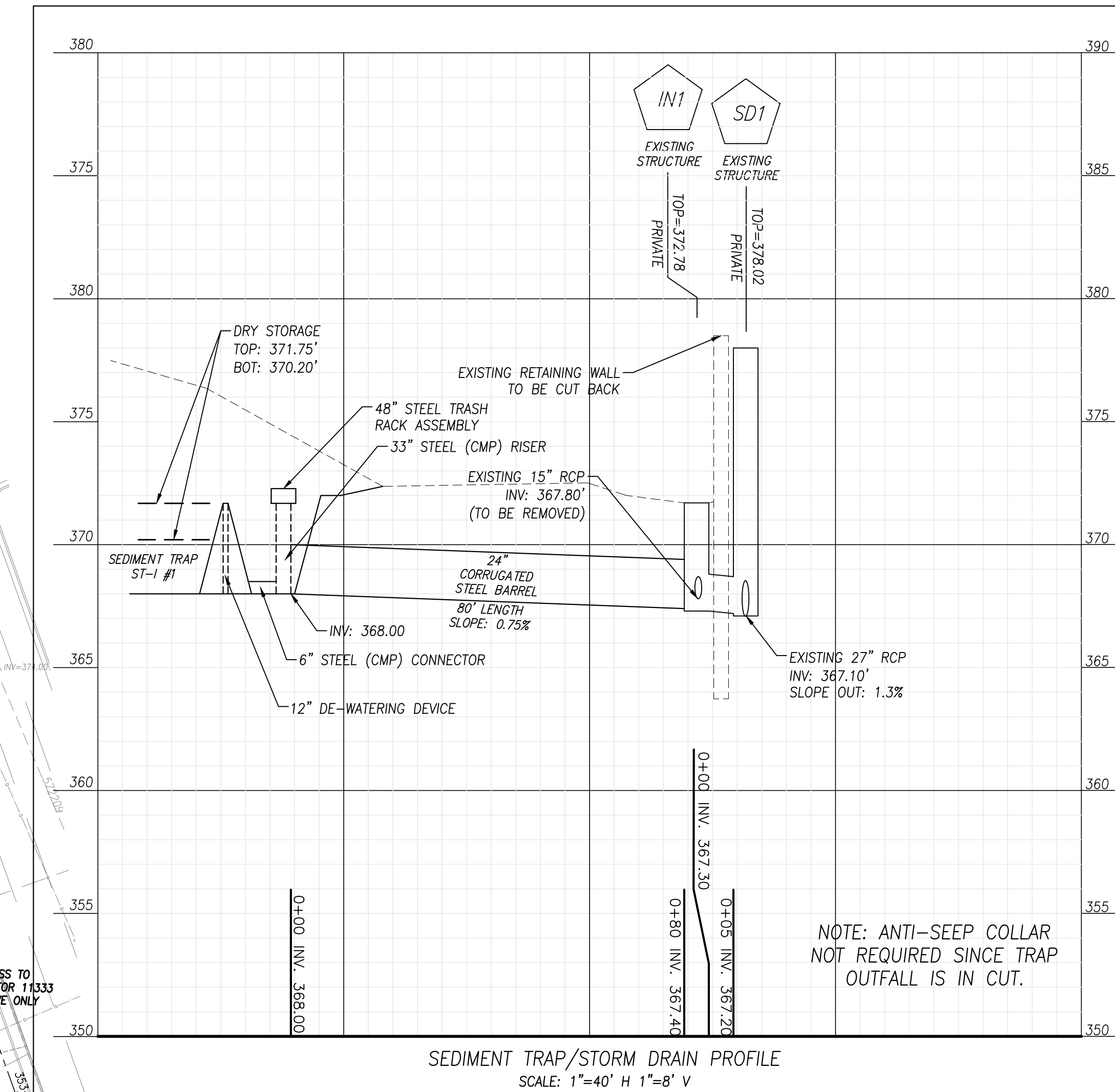
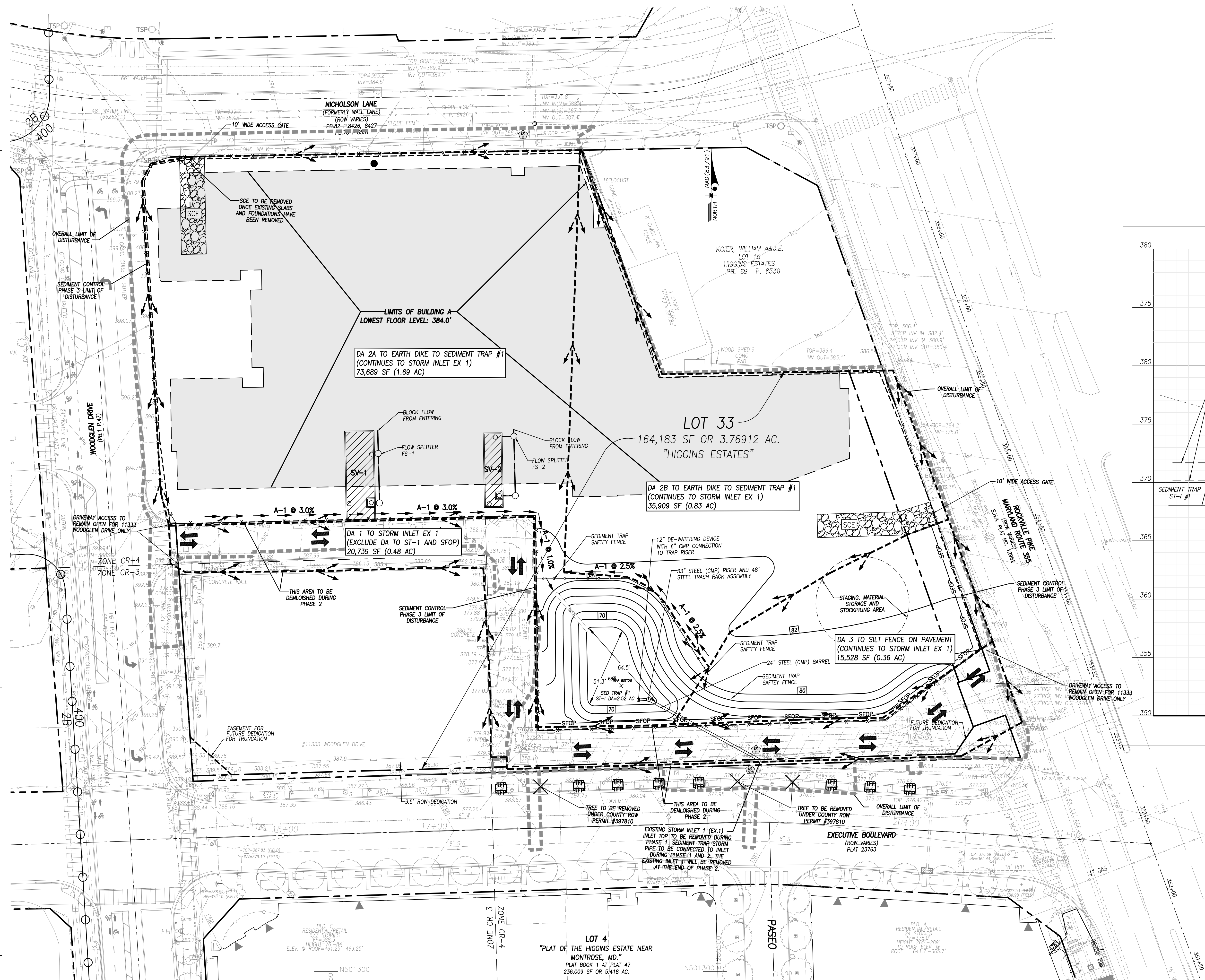


LEGEND

TRASH CAN
GROUND SHOT
VAULT PERCO
ROAD SIGN
IRIGATION VALVE
WATER VALVE
PARKING METER
DRAIN
STORM MH
SEWER PIPE
CLEAN OUT
GUY WIRE
LIGHT POLE
POWER POLE
EDGE OF PAVEMENT
CENTER LINE
BOLLARD
CURB & GUTTER
WALL
CATCH BASIN
UTILITY VAULT
SIDEWALK
WHITE LINE
EDGE OF CONCRETE
STEPS
BUILDING LINE
ROADWAY CENTERLINE
EXISTING WATER
EXISTING SEWER
EXISTING STORM
EXISTING ELECTRICAL
EXISTING GAS
EXISTING OVERHEAD WIRES

SEDIMENT CONTROL LEGEND

-----	LIMIT OF DISTURBANCE (ULTIMATE)
-----	LIMIT OF DISTURBANCE (PHASE 3)
-X-X-	CONSTRUCTION FENCE
=====	REMOVAL OF EXISTING CURB AND GUTTER
	REMOVAL OF EXISTING BUILDING & SLAB
	REMOVAL OF EXISTING CONCRETE
-----	REMOVAL OF EXISTING ASPHALT
-----	DRAINAGE DIVIDES WITH FLOW DIRECTION ARROWS
-----	ACCESS ROUTE TO 11333 WOODGLEN DRIVE
-----	STABILIZED CONSTRUCTION ENTRANCE
SIP	STANDARD INLET PROTECTION
SFOP	SILT FENCE ON PAVEMENT
A-1 A-1	EARTH DIKE
-----	PIPE SLOPE DRAIN (21")



mv+a

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 Woodglen Master Owner, LLC
 Woodglen Master Owner II, LLC
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 Bethesda, MD 20814
 Tel: 301.657.7325

APPLICANT
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North Bethesda Market II

NORTH BETHESDA, MARYLAND

SEDIMENT CONTROL PLAN
 PHASE 2

PROJECT NUMBER
 22002.00

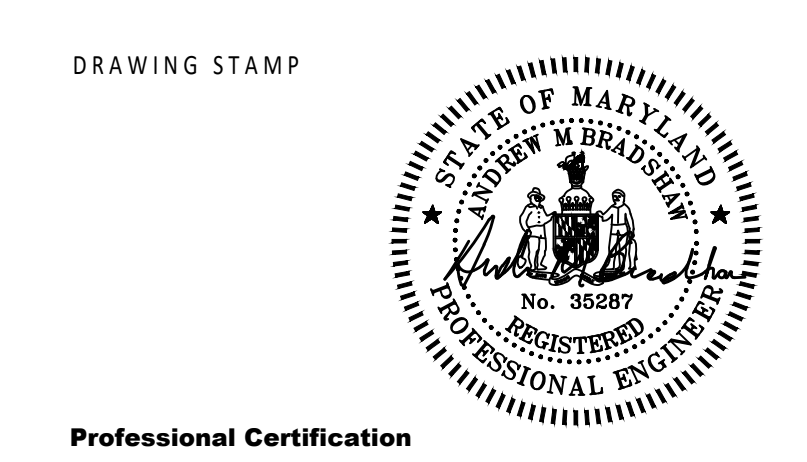
REV.	ISSUE:	DATE
Permit Set		10-22-24

PIPE OUTLET SEDIMENT TRAP ST-1		STANDARD SYMBOL
PIPE OUTLET SEDIMENT TRAP ST-1, TRAP NO. 1		ST-1
DRAINAGE AREA - INITIAL	2.52	ACRES
DRAINAGE AREA - WETLAND	2.52	ACRES
DRAINAGE AREA - FINAL	2.52	ACRES
TOTAL STORAGE REQUIRED	9,072	GF
TOTAL STORAGE PROVIDED	9,532	GF
NET STORAGE REQUIRED	4,536	GF
NET STORAGE PROVIDED	4,785.84	GF
DRY STORAGE REQUIRED	4,536	GF
DRY STORAGE PROVIDED	4,735.84	GF
TRAP BOTTOM ELEVATION	368.00	FT
TRAP BOTTOM DIMENSIONS	64.5' x 51.2'	FT x FT
RISER CHEST (NET STORAGE) ELEVATION	371.75	FT
OUTLET (NET STORAGE) ELEVATION	370.20	FT
CLEAROUT ELEVATION	370.20	FT
TOP OF EMBANKMENT ELEVATION	372.75	FT
DISE SLOPE	2:1	H:V RATIO
EMBANKMENT TOP WIDTH	5	FT
PRINCIPAL SPILLWAY MATERIAL	Best CPSP Steel Barrel, Riser, Anti-Seep Collar	FT
RISER DIAMETER	33	IN
BARREL DIAMETER	24	IN
TRASH RACK DIAMETER	48	IN
TRASH RACK HEIGHT	45	IN
ANTI-SEEP COLLAR DIMENSIONS	6 X 6	FT
OUTLET PROTECTION - LENGTH	10' - pipe to storm drain	FT
OUTLET PROTECTION - WIDTH	10' - pipe to storm drain	FT
OUTLET PROTECTION - DEPTH	10' - pipe to storm drain	IN

SEDIMENT TRAP ST-1 PIPE OUTLET

Elevation (feet)	Area (sq. feet)	Section Vol. (cubic feet)	Cum. Vol. (cubic feet)
368.00	1615		
368.50	1840	863.75	863.75
369.00	2071	977.75	1841.50
369.50	2330	1100.25	2941.75
370.00	2580	1227.50	4169.25
370.50	2845	1356.25	5525.50
371.00	3116	1490.25	7015.75
371.50	3400	1629.00	8644.75
372.00	3695	1773.75	10418.50

- NOTES:
- DURING CONSTRUCTION ALL CURB OPENINGS TO ROADSIDE MICRO-BIO PLANTERS ARE TO BE TEMPORARILY BLOCKED DURING THIS PHASE.



Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No.: 38887
 Expiration Date: 01-07-26

- The permittee shall notify the Department of Permitting Services (DPS) five (5) business days before commencing any land disturbing activity and, unless waived by the Department, shall be required to hold a permittee meeting with the Department, the project representative, the engineer, and an authorized representative of the Department.
- The permittee must obtain pre-approval and approval by DPS at the following points:
 - At the required pre-approval meeting.
 - Following installation of sediment control measures and prior to any other land disturbing activity.
 - During the installation of sediment basin or stormwater management structure at the required inspection points (see Inspection Checklist on page 10). Notification prior to commencing construction is mandatory.
 - Prior to removal or modification of any sediment control structure(s).
 - Prior to final acceptance.
- The permittee shall construct all erosion and sediment control measures per the approved plan and construction specifications, shall be inspected and approved by the Department prior to installing any other land disturbing activity. Sediment control measures shall ensure that runoff from disturbed areas is directed to the sediment control devices and shall not remove any erosion or sediment control measure without prior permission from the Department.
- The permittee shall protect all points of construction ingress and egress to prevent the deposition of materials onto unimproved public thoroughfares. All materials deposited on public thoroughfares shall be removed immediately.
- The permittee shall protect periodically and maintain continuously in effective operating condition, all erosion and sediment control measures until such time as they are removed with prior permission from the Department. The permittee is responsible for immediately correcting conditions on sediment control measures which have become damaged or removed by the permittee or any other persons.
 - Following initial installation of erosion or sediment control measures, the permittee shall inspect and maintain all sediment traps, basins, ditches, filters, perimeter walls and all slopes steeper than 1:1 (vertical) to 1:1 (horizontal).
 - Seven (7) calendar days to the surface of all perimeter ditches, swales, ditches, perimeter walls and all slopes steeper than 1:1 (vertical) to 1:1 (horizontal).

All area disturbed outside of the perimeter sediment control system must be maintained and stabilized immediately. Maintenance must be performed as necessary to ensure continued stabilization.

- The permittee shall apply "mulch, weed, and anchored straw mulch, or other approved stabilization measures on all disturbed areas within seven (7) calendar days after construction activities have ceased on the area. Maintenance shall be performed as necessary to ensure continued stabilization. Active construction areas such as basins or catchment areas, roadway approaches, and areas within 100 (100) feet of a building under construction may be exempt from this requirement, provided the erosion and sediment control measures are installed and maintained to prevent erosion.
- Prior to removal of sediment control measures, the permittee shall stabilize all construction disturbed areas with mulch and sediment control measures, or an approved permanent stabilization and approved anchored mulch. Weed free mulch may only be used in receiving systems when the slope does not exceed 10% and grading has been completed. Mulch shall be installed and maintained in a like manner during the working season until the permanently stabilized surface is fully established. When property is brought to finished grade, the erosion and sediment control measures and permanent stabilization is deemed to be permanently established. An approved erosion seed and straw anchored mulch shall be applied to disturbed areas. The final permanent stabilization of each project shall be completed within the following:
 - Three (3) calendar days to the surface of all perimeter ditches, swales, ditches, perimeter walls and all slopes steeper than 1:1 (vertical) to 1:1 (horizontal).
 - Seven (7) calendar days to all other disturbed or graded areas on the project not under active grading.

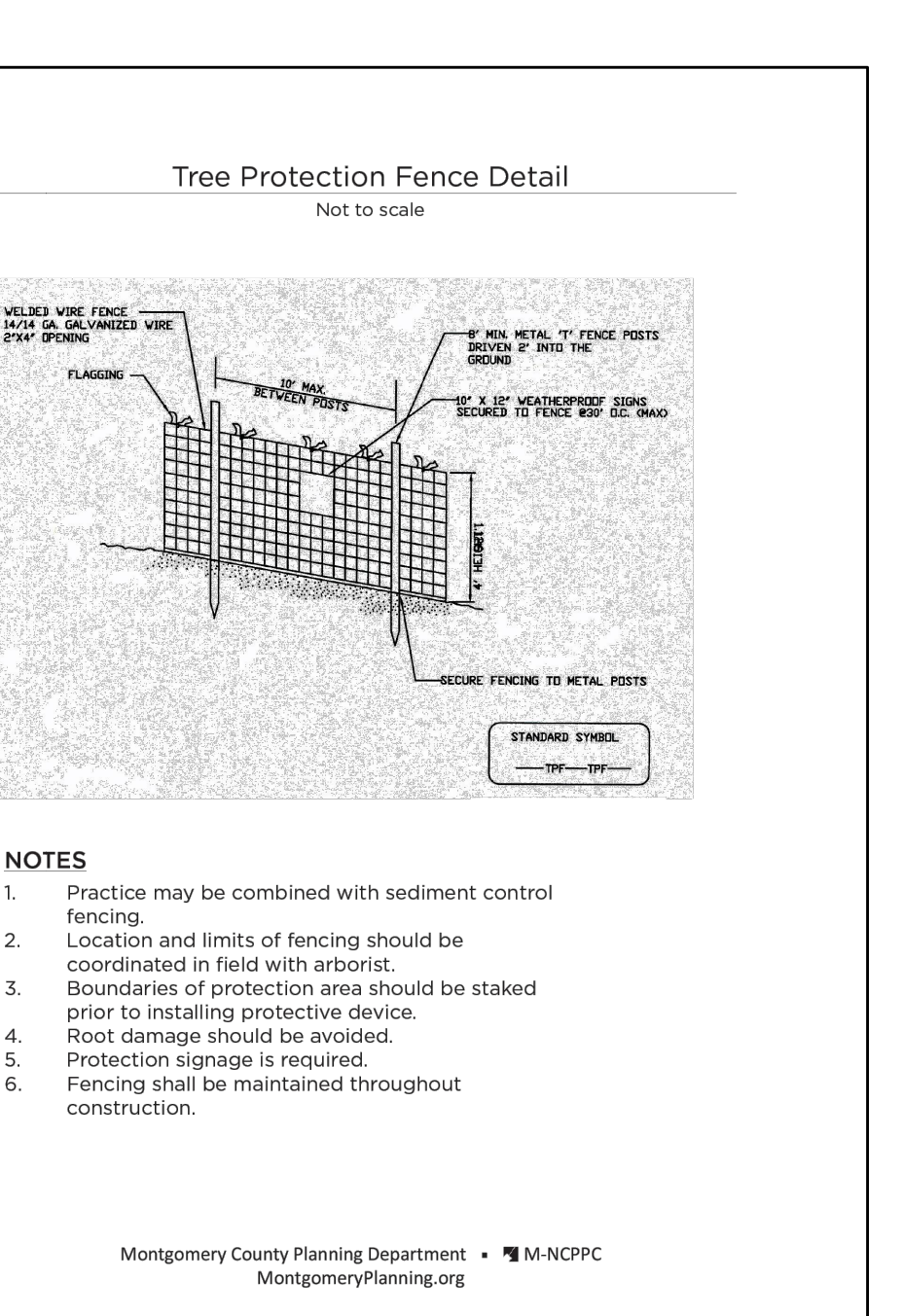
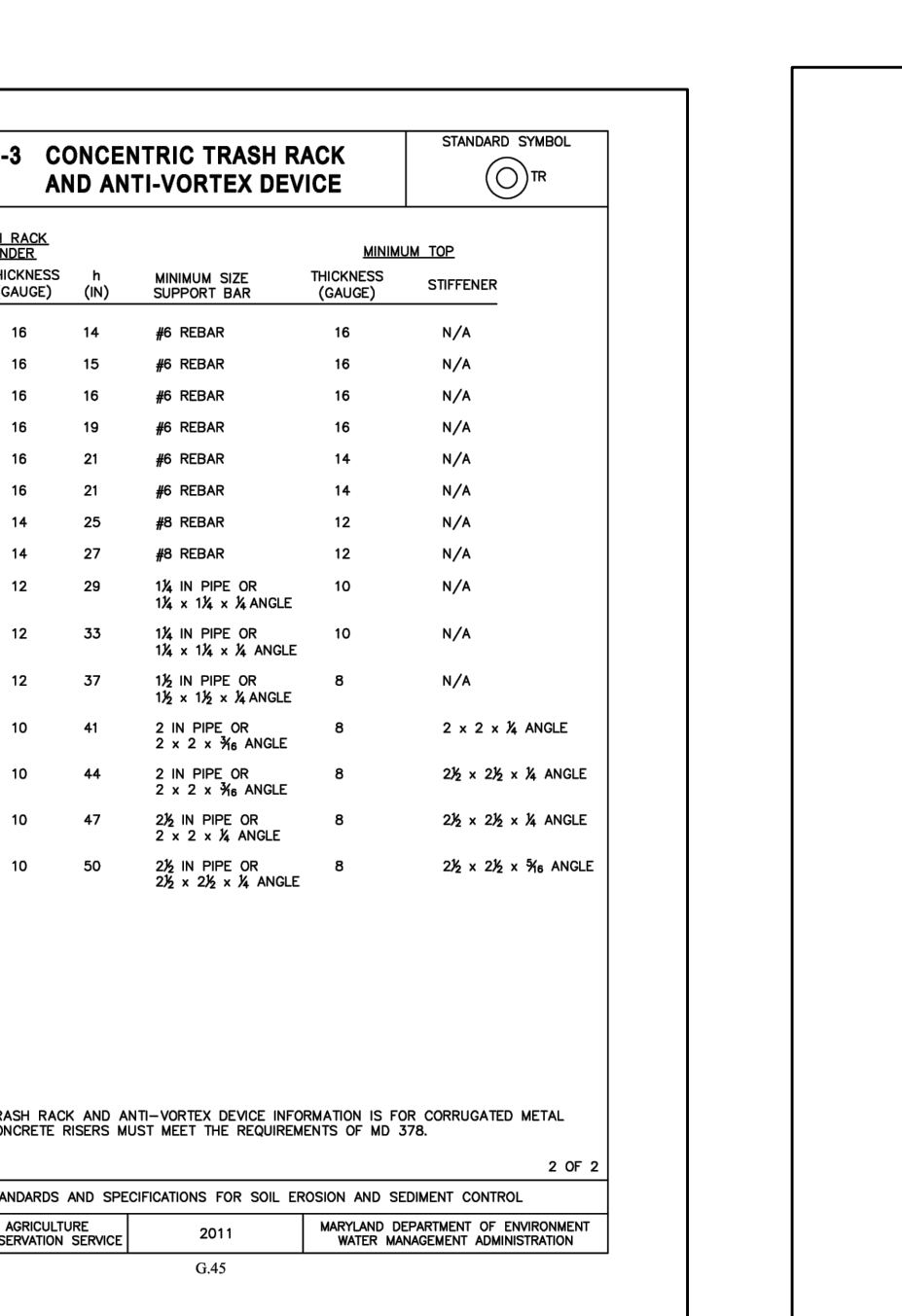
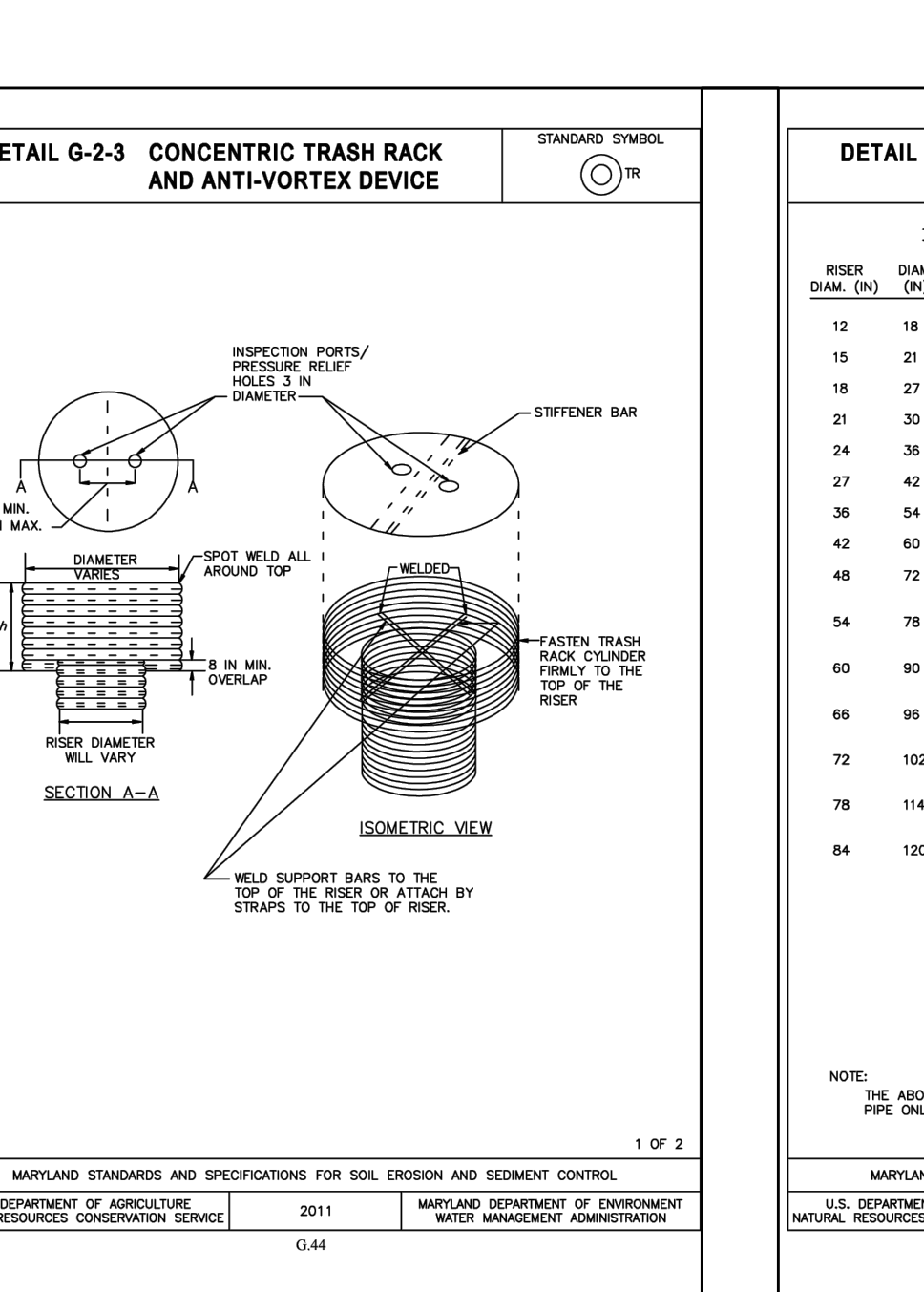
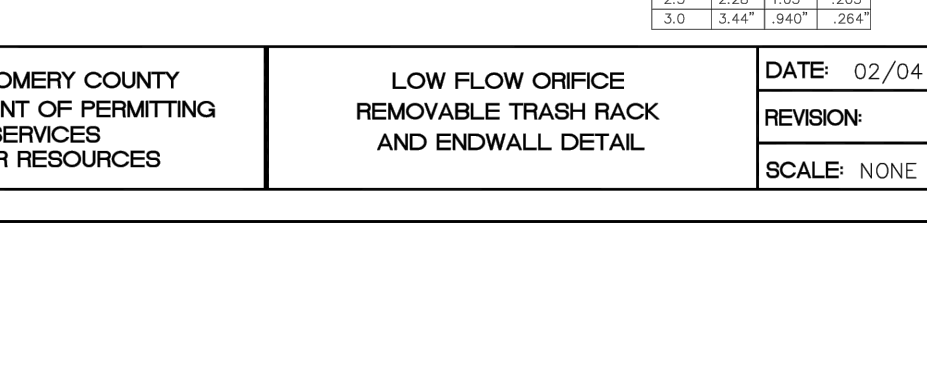
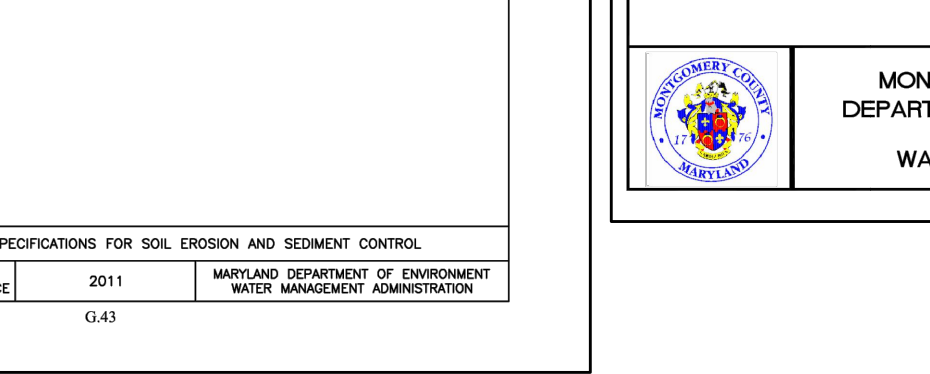
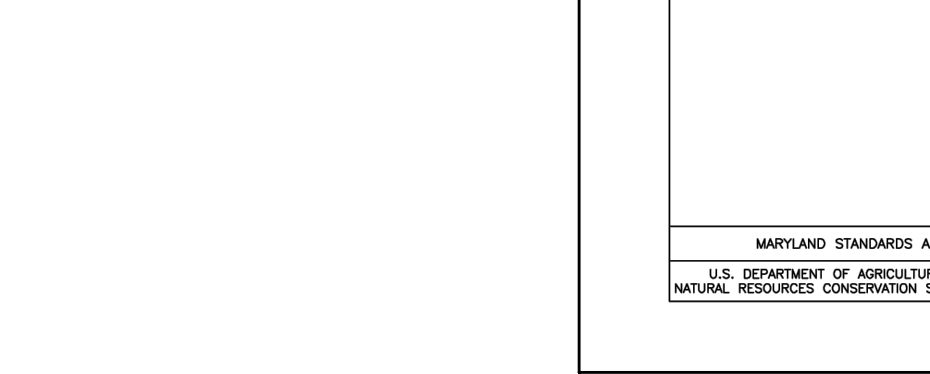
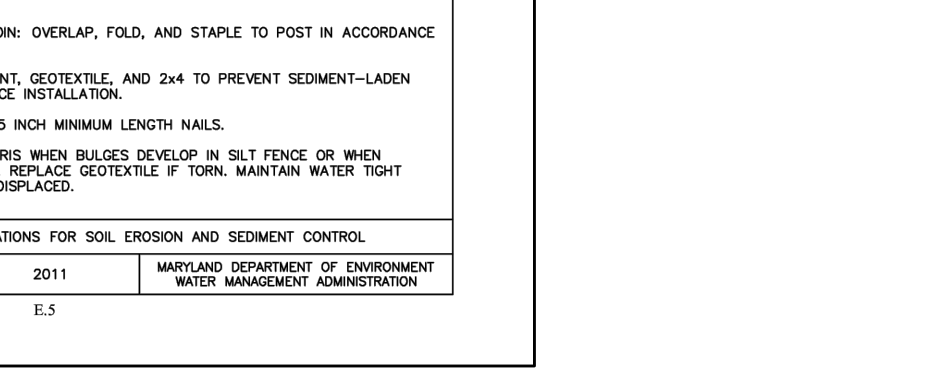
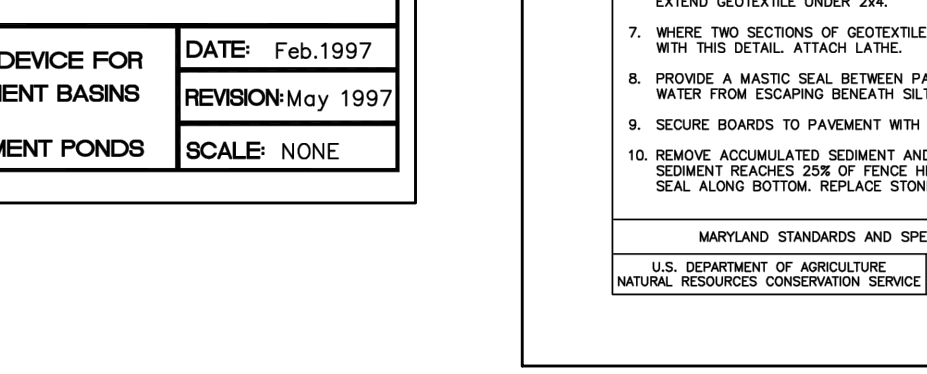
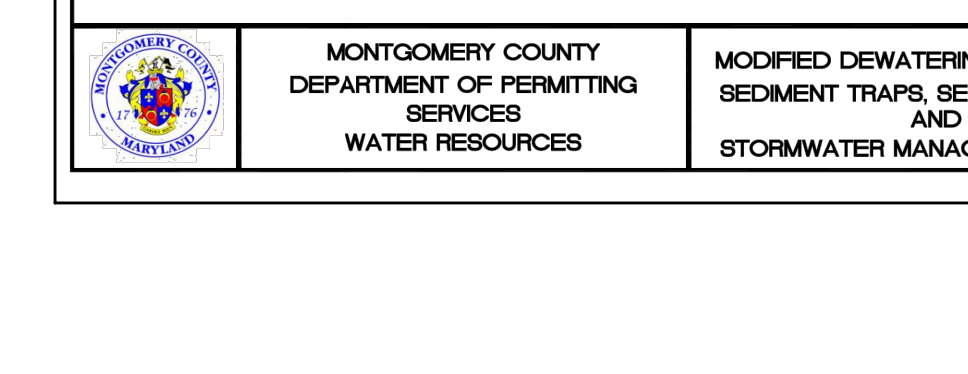
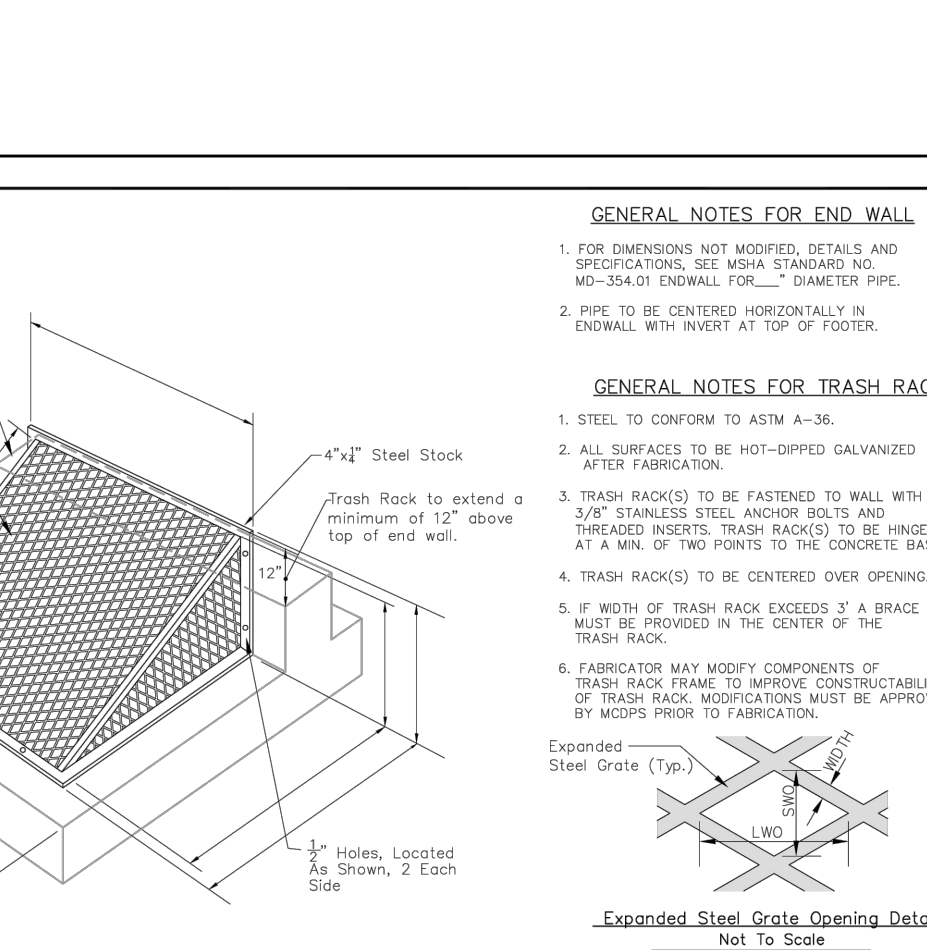
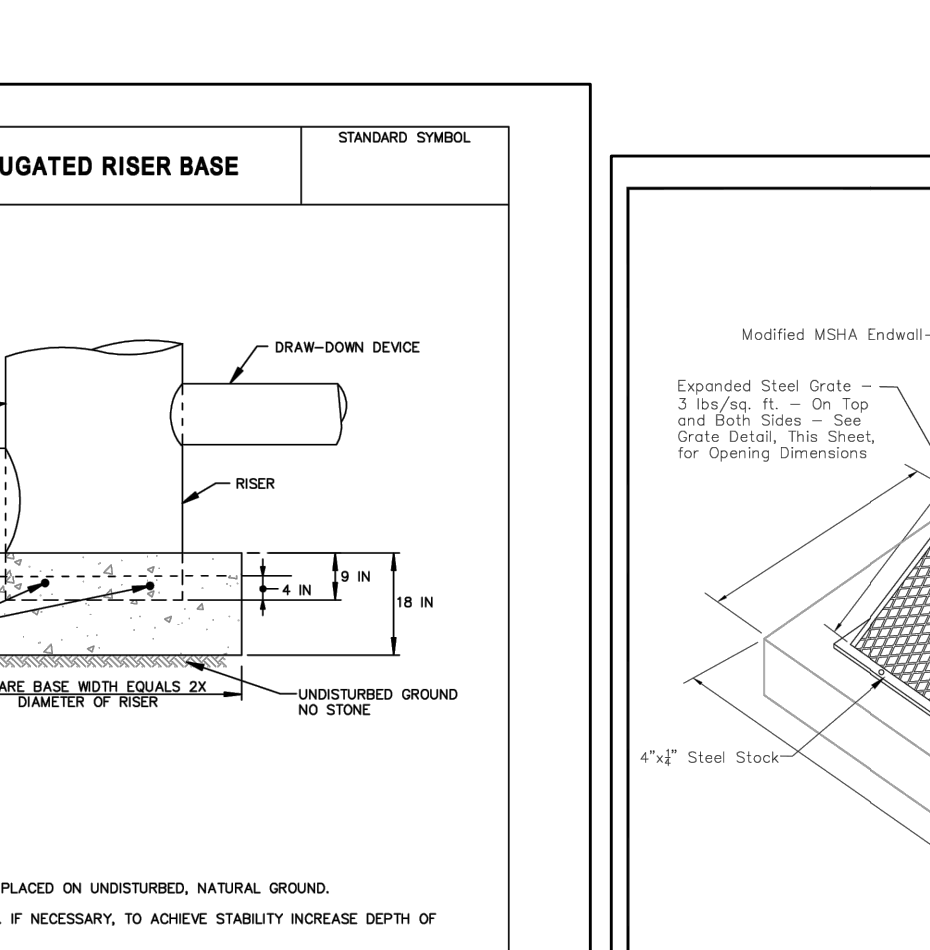
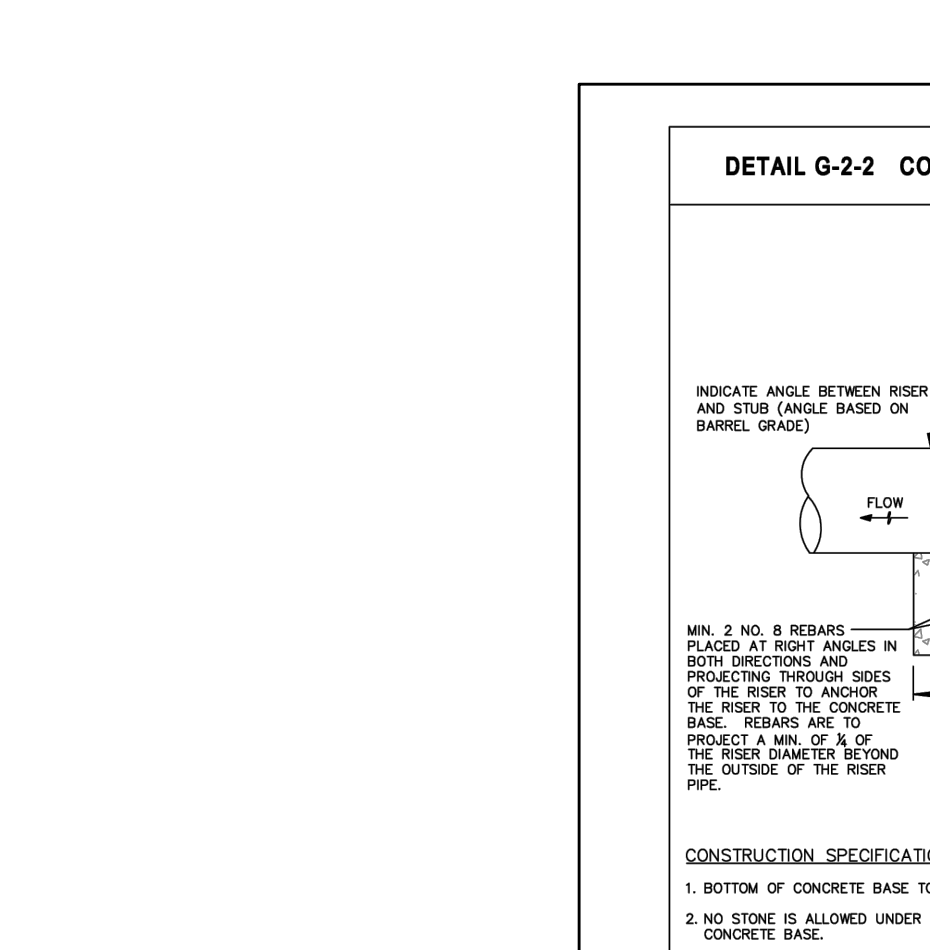
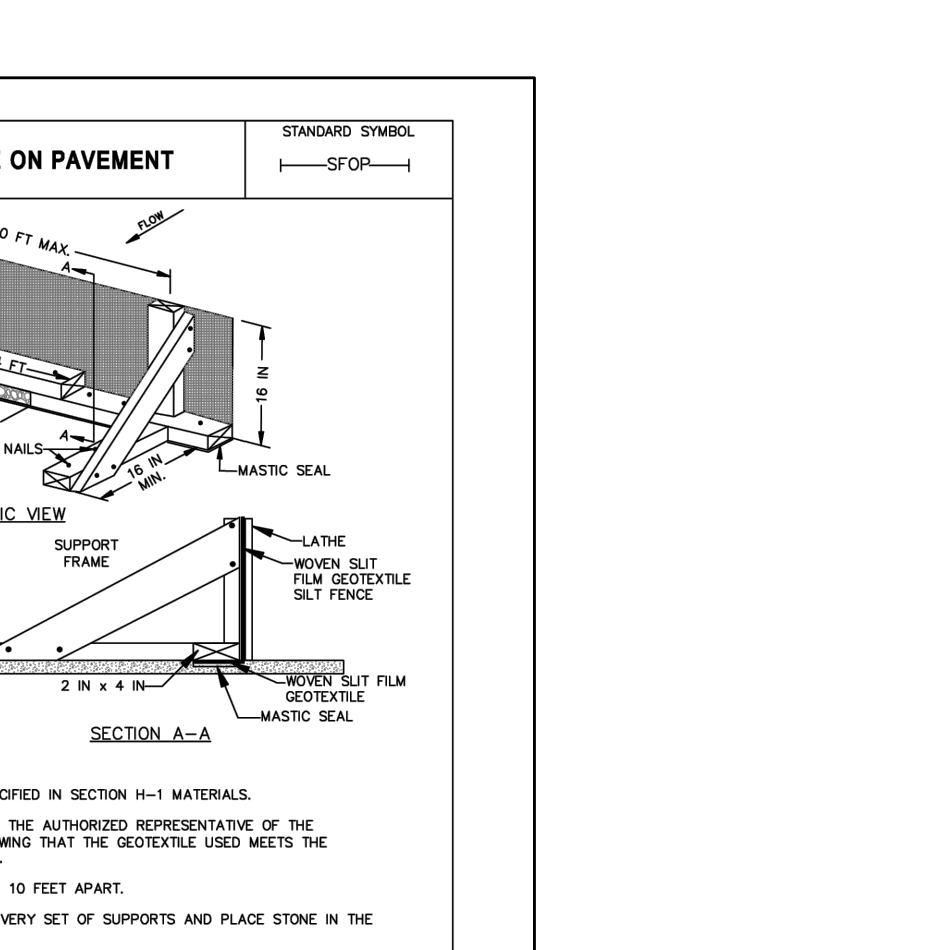
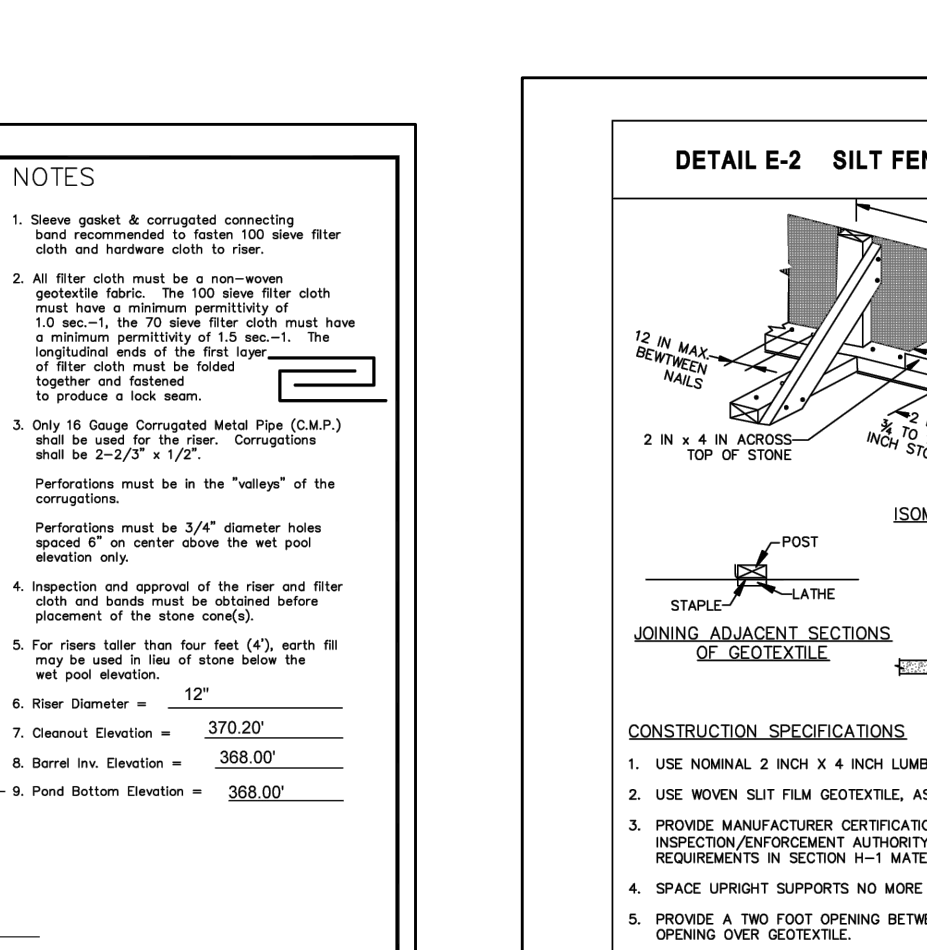
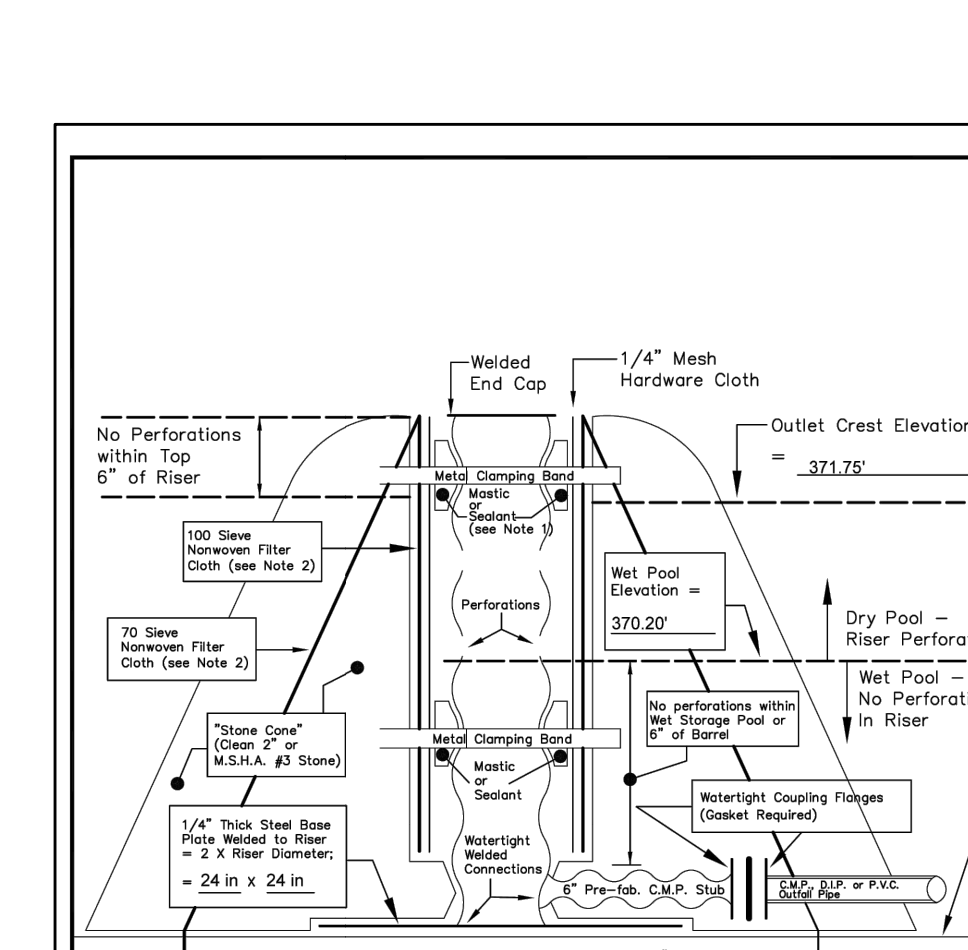
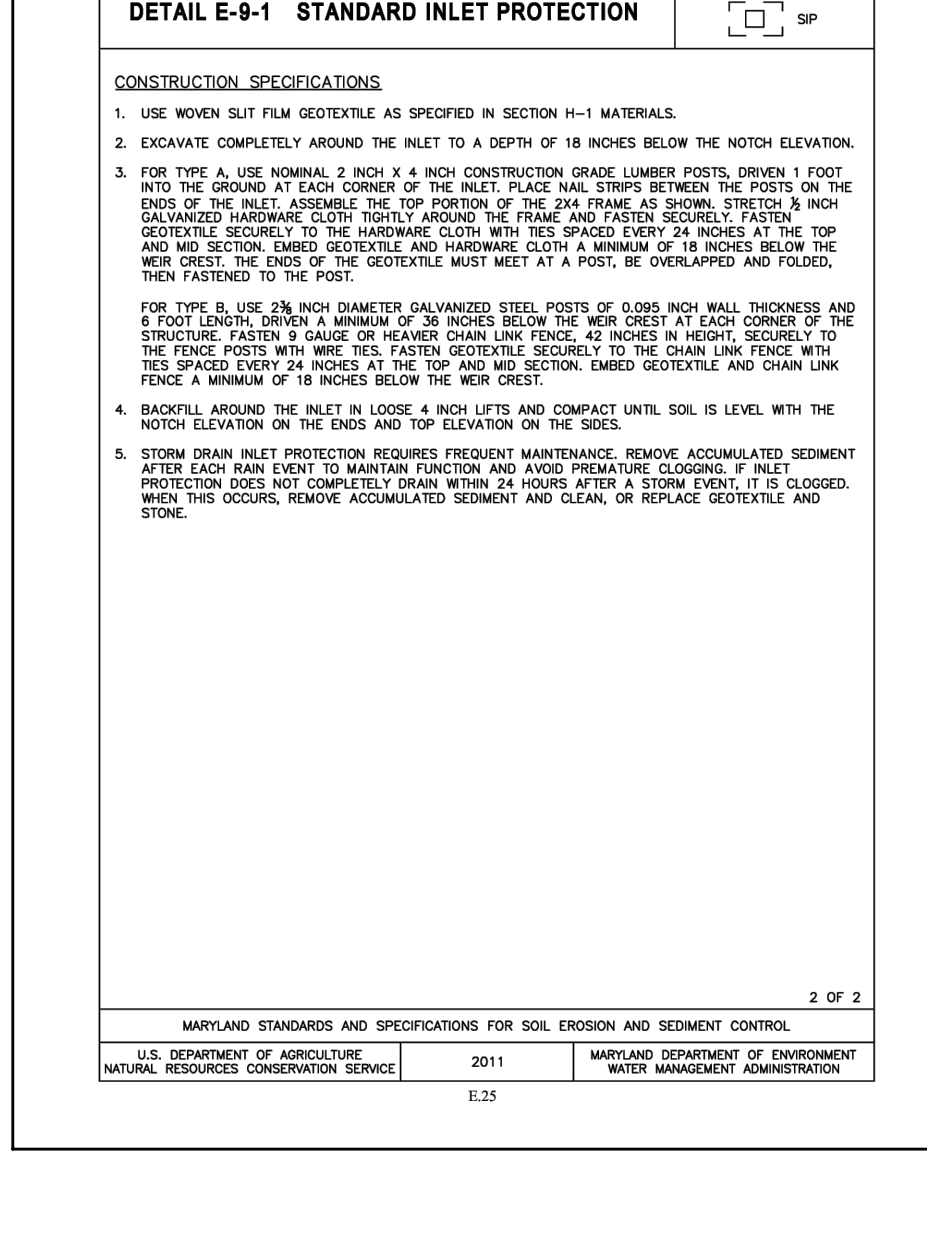
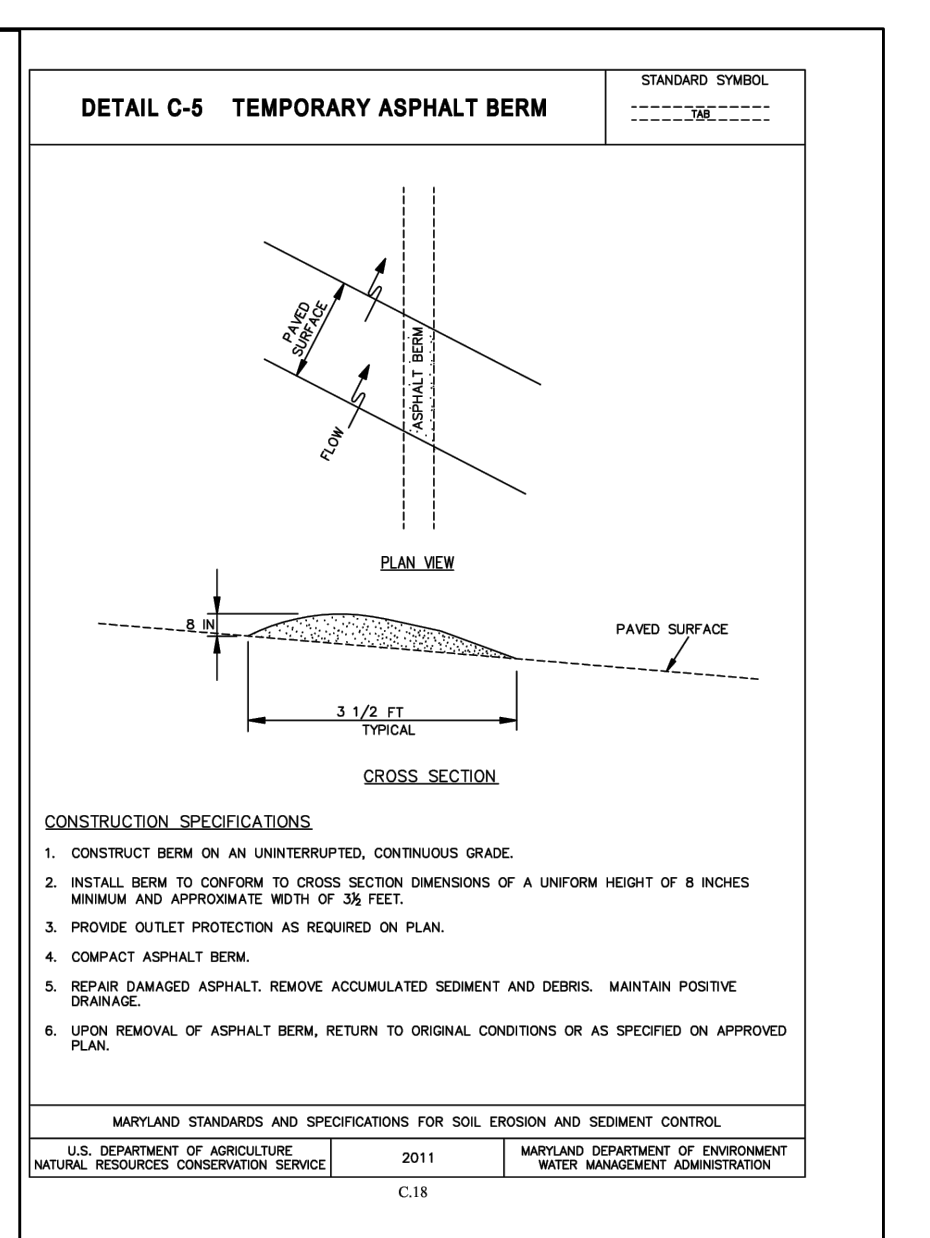
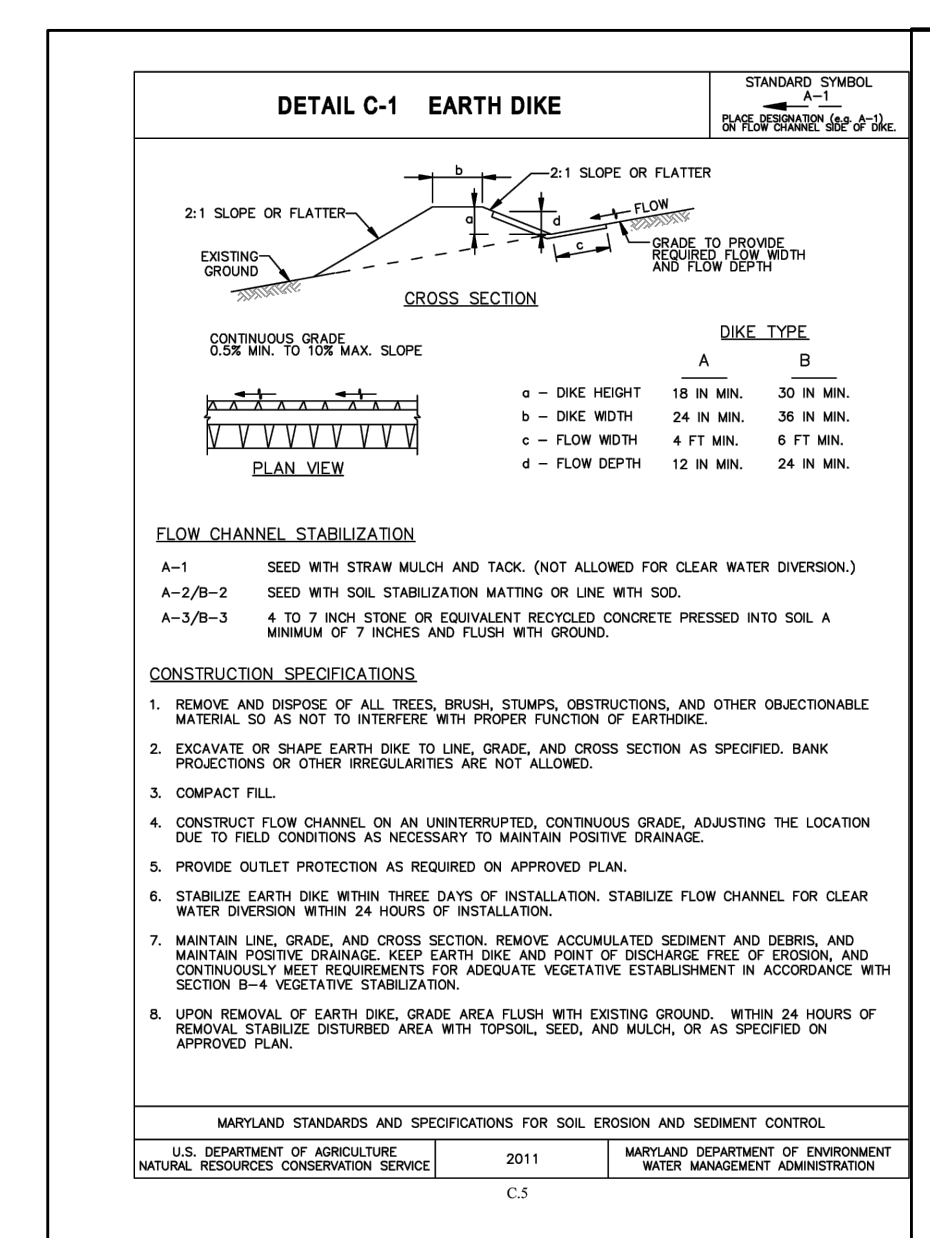
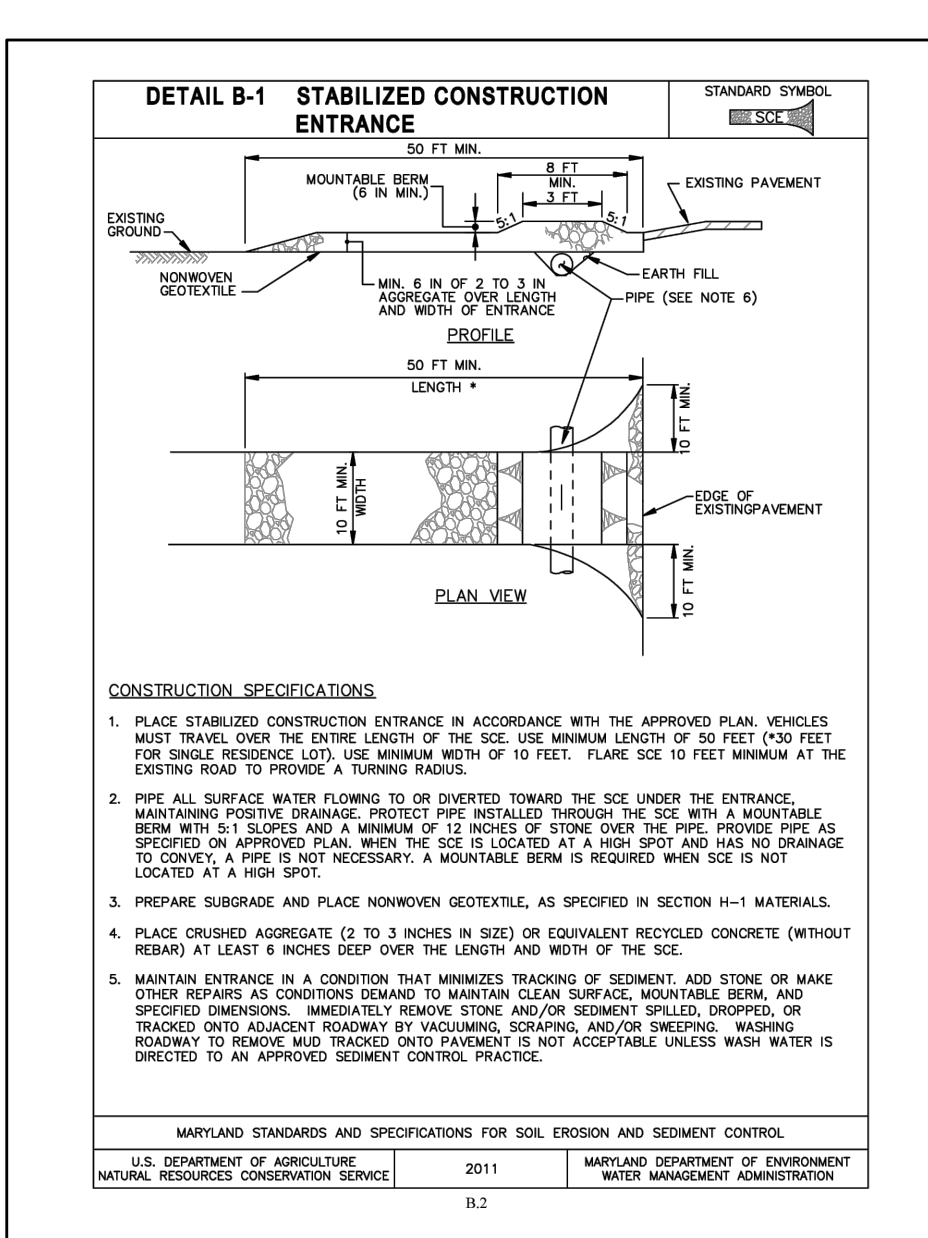
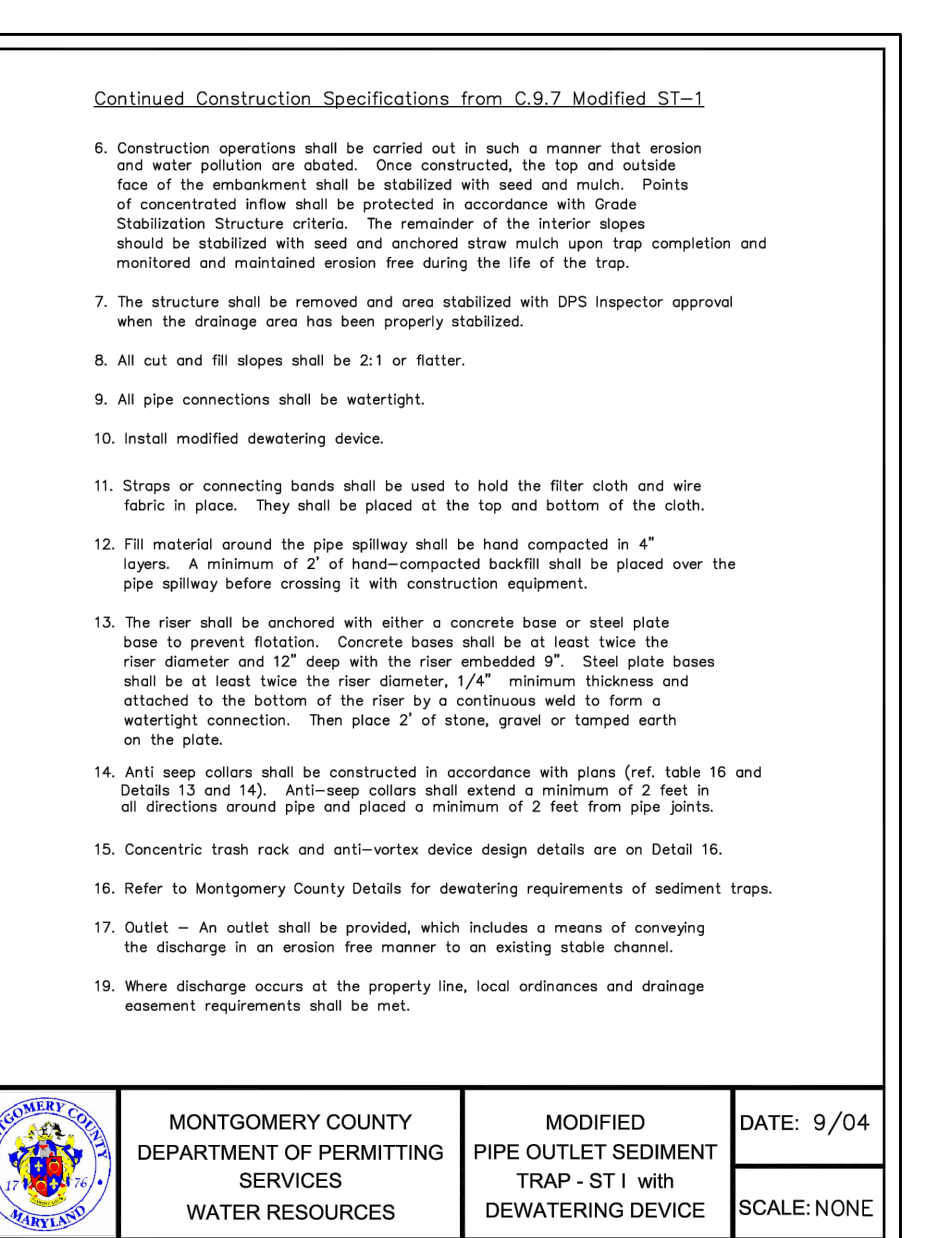
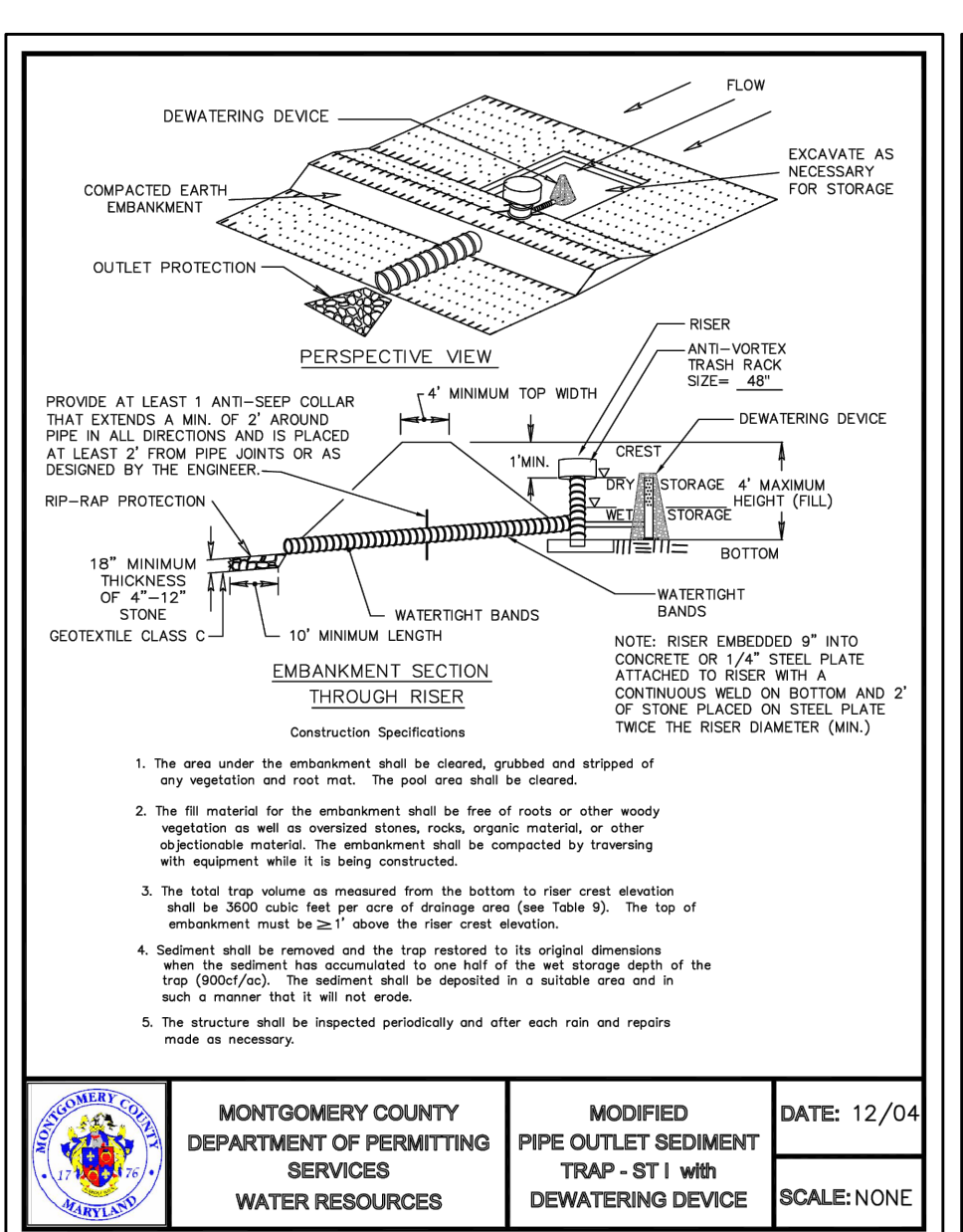
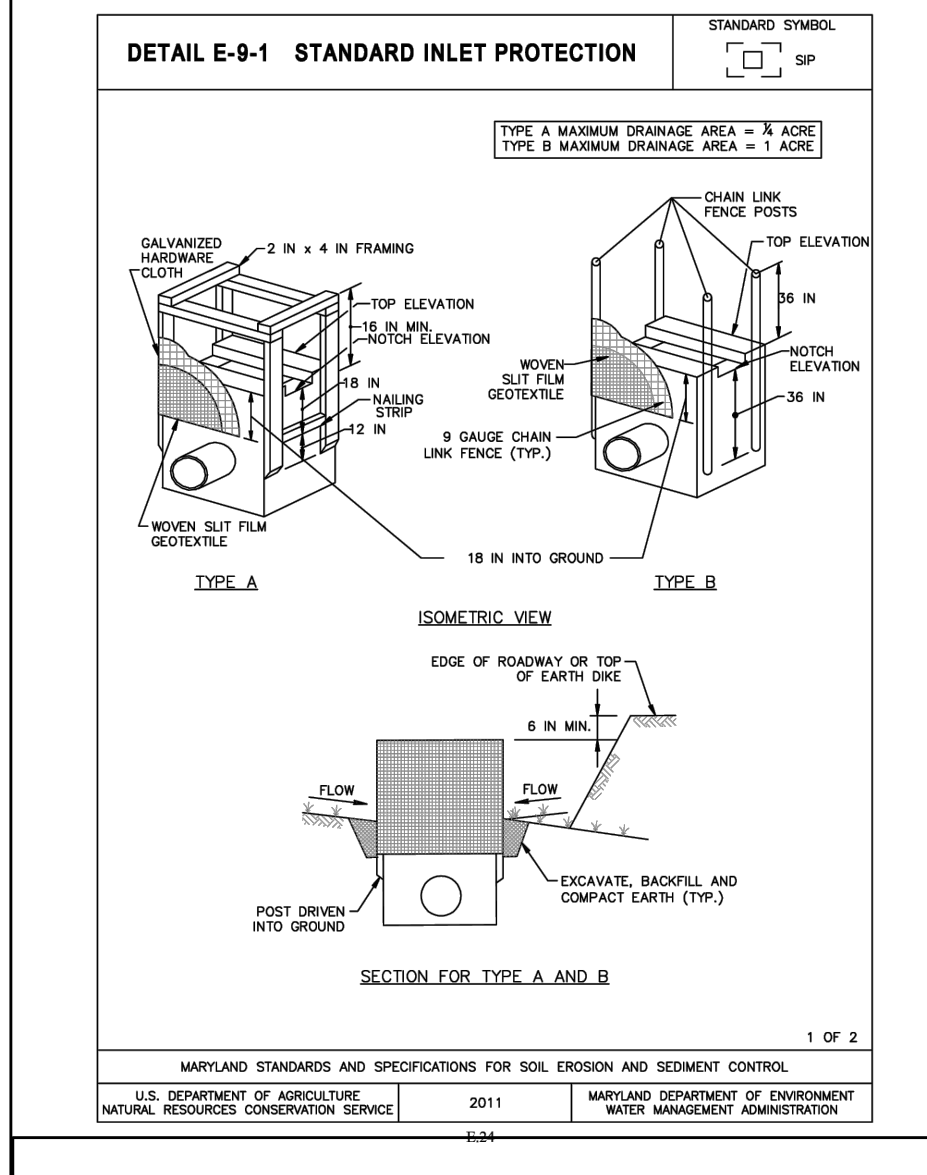
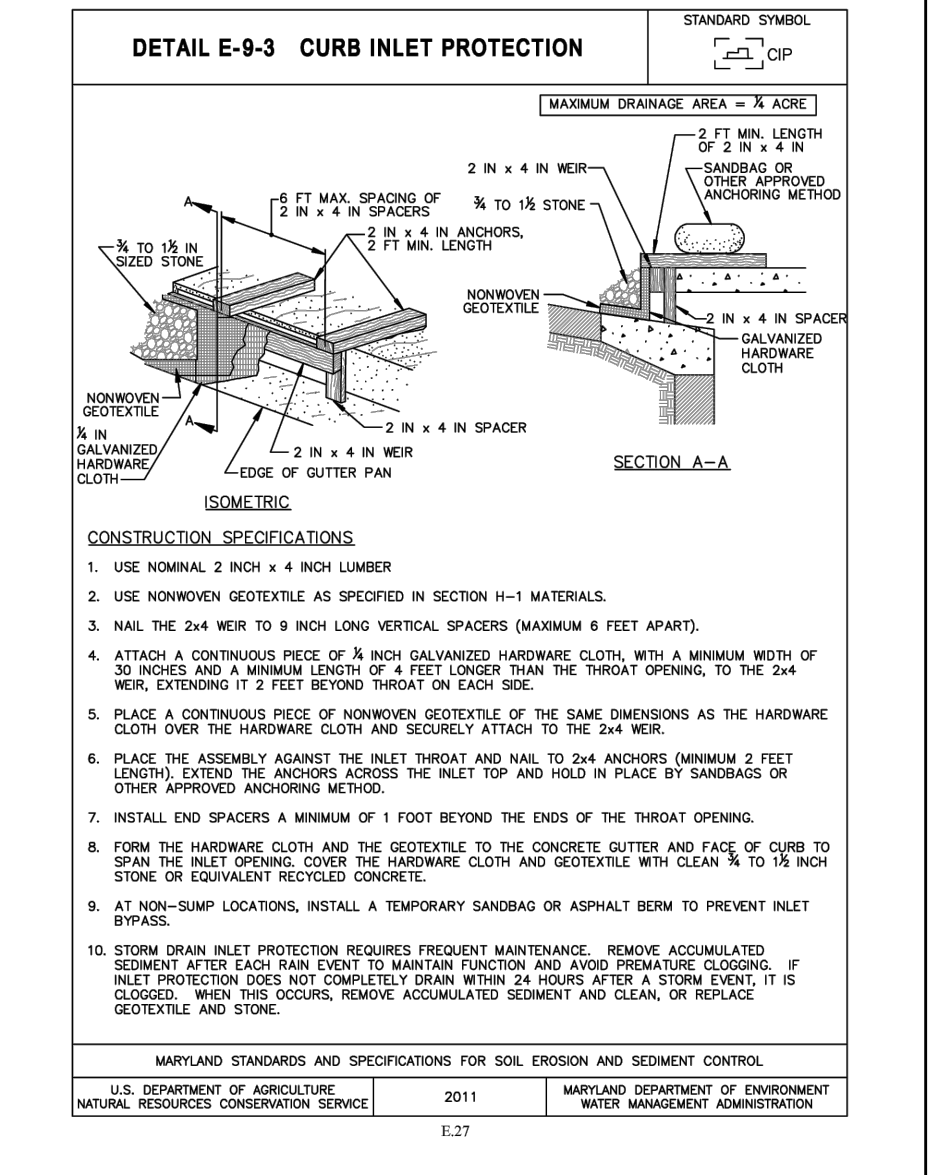
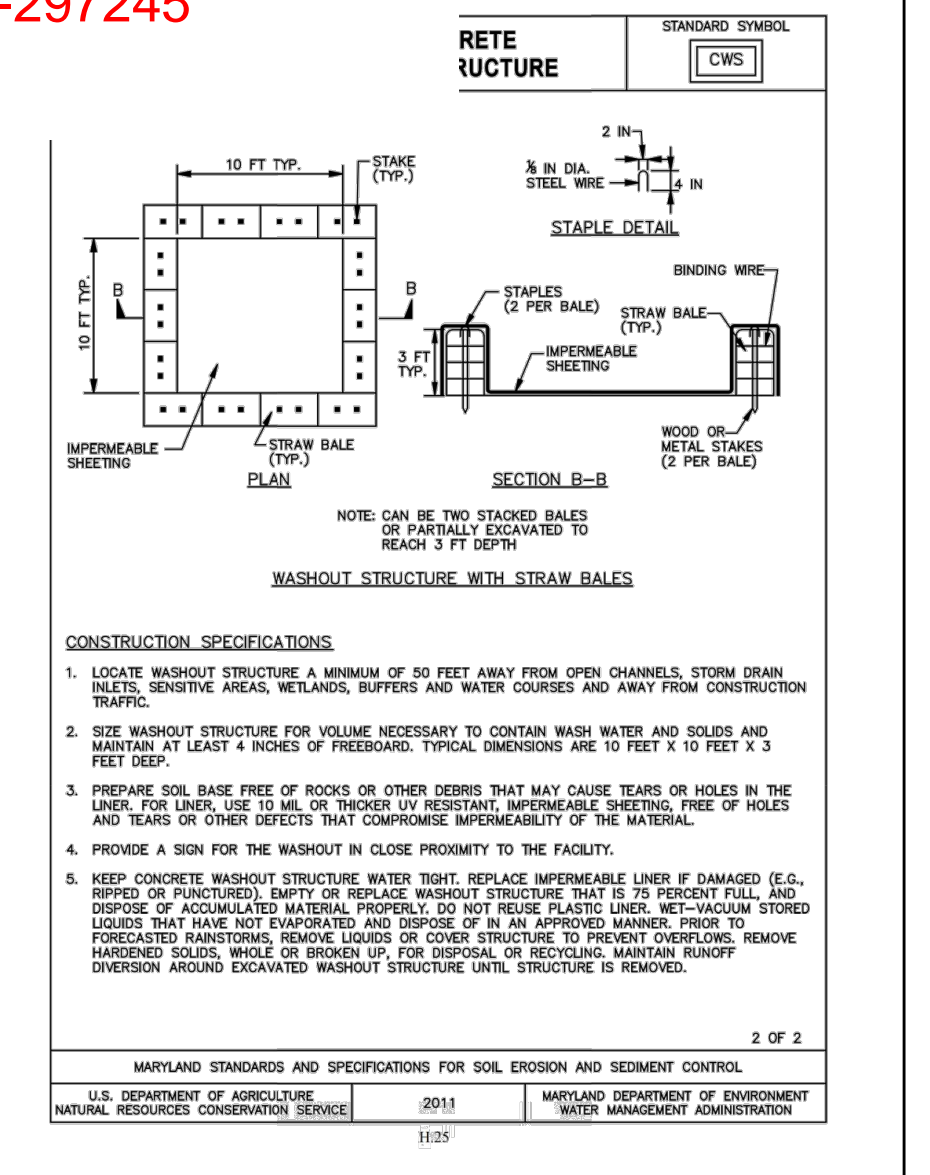
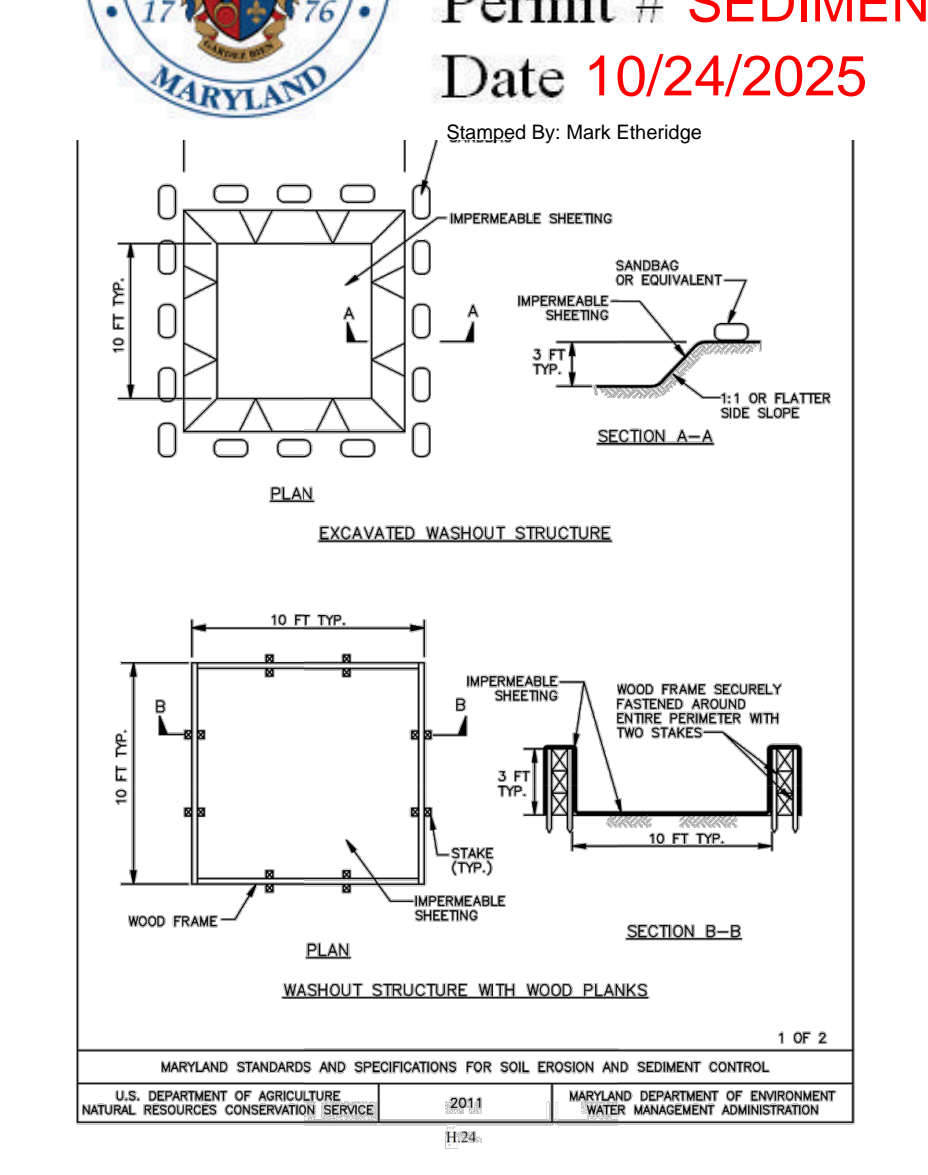
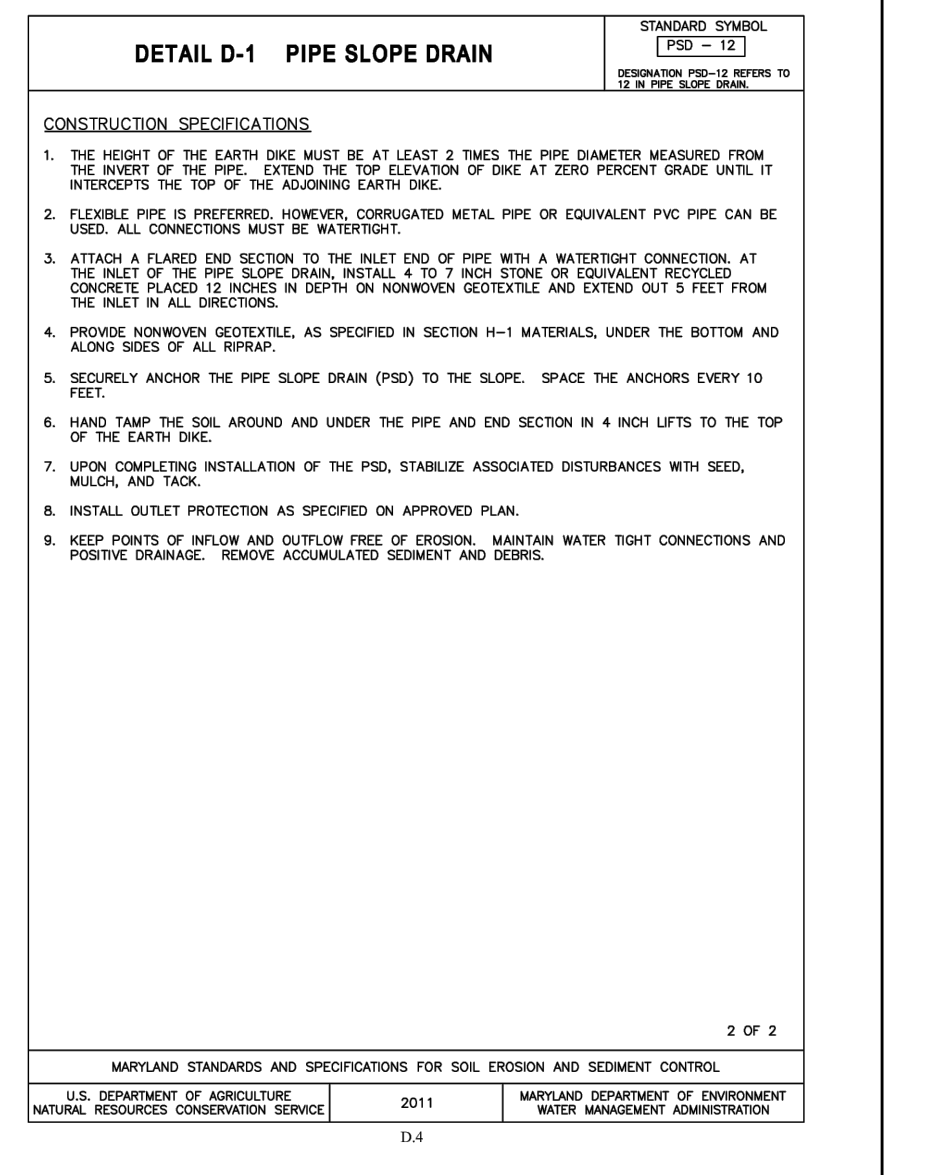
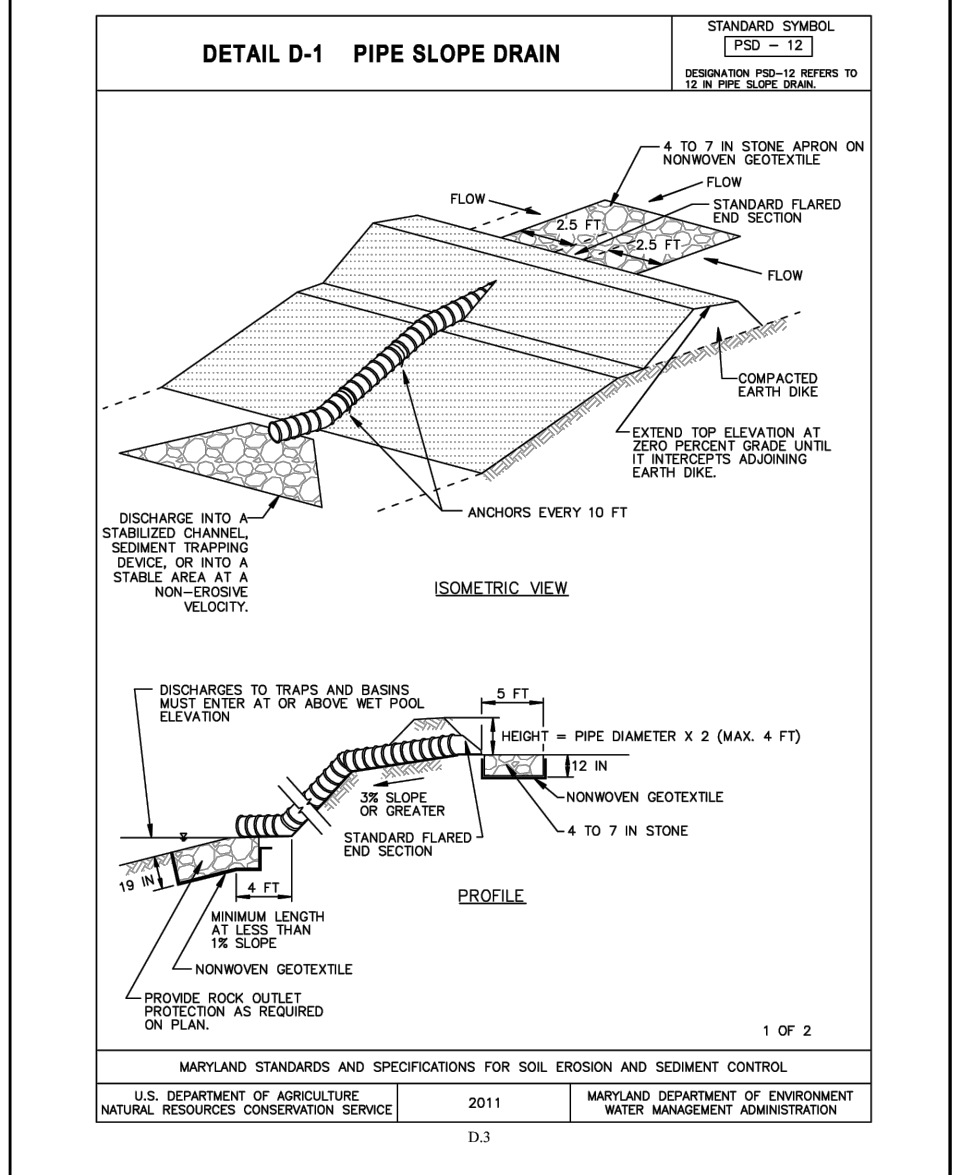
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All area disturbed outside of the perimeter sediment control system must be maintained and stabilized immediately. Maintenance must be performed as necessary to ensure continued stabilization.

- The permittee must notify the Department of any utility construction activities within the permitted limits of disturbance prior to the commencement of those activities.
 - * Erosion control shall be applied to all portions areas within the limits of disturbance prior to permanent stabilization in accordance with MDC "Standard and Specifications for Soil Preparation, Topsoiling, and Soil Anchoring".

* Chain of Surveys and must be Maryland State Certified. Soil labels must be made available to the job foreman and the Sediment Control Inspector.



mv+a

OWNER
Woodgen Master Owner, LLC
4800 Hampton Ln, Suite 800
Bethesda, MD 20814
Tel: 301.657.7325

APPLICANT
NoBE Owner, LLC
c/o SCS Development
8245 Boone Blvd., Suite 640
Tysons Corner, VA 22182
Tel: 703.520.0828

ARCHITECT
MVA | Mashkin Voelke Associates, CHD
1200 G Street, Suite 250
Washington, DC
Tel: 202.682.2822

CIVIL ENGINEER
John Bernat Associates, Inc.
205 N Frederick Suite 100
Gaithersburg, MD 20877
Tel: 301.963.1133

LANDSCAPE ARCHITECT
Landscape, Inc.
200 S Peyton St
Alexandria, VA 22314
Tel: 703.540.7784

STRUCTURAL ENGINEER
Structura, Inc.
12358 Parklawn Dr Suite 140
North Bethesda, MD 20852
Tel: 301.987.9234

MEP ENGINEER
SCS Engineering, Inc.
509 Germantown Pike Bldg 2
Lafayette Hill, PA 19444
Tel: 215.774.1429

PROJECT NUMBER
22002.00

REV. ISSUE: DATE
Permit Set 10-22-24

DATE: 02/04
REVISION: 02/04
SCALE: NONE

PROJECT NUMBER
22002.00

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DATE: 02/04
REVISION: 02/04
SCALE: NONE



APPROVED
Department of Permitting Services
Permit # **SEDIMENT-297245**
Date **10/24/2025**
Stamped By: Mark Ederidge

LEGEND

PROPOSED BUILDING LEGEND

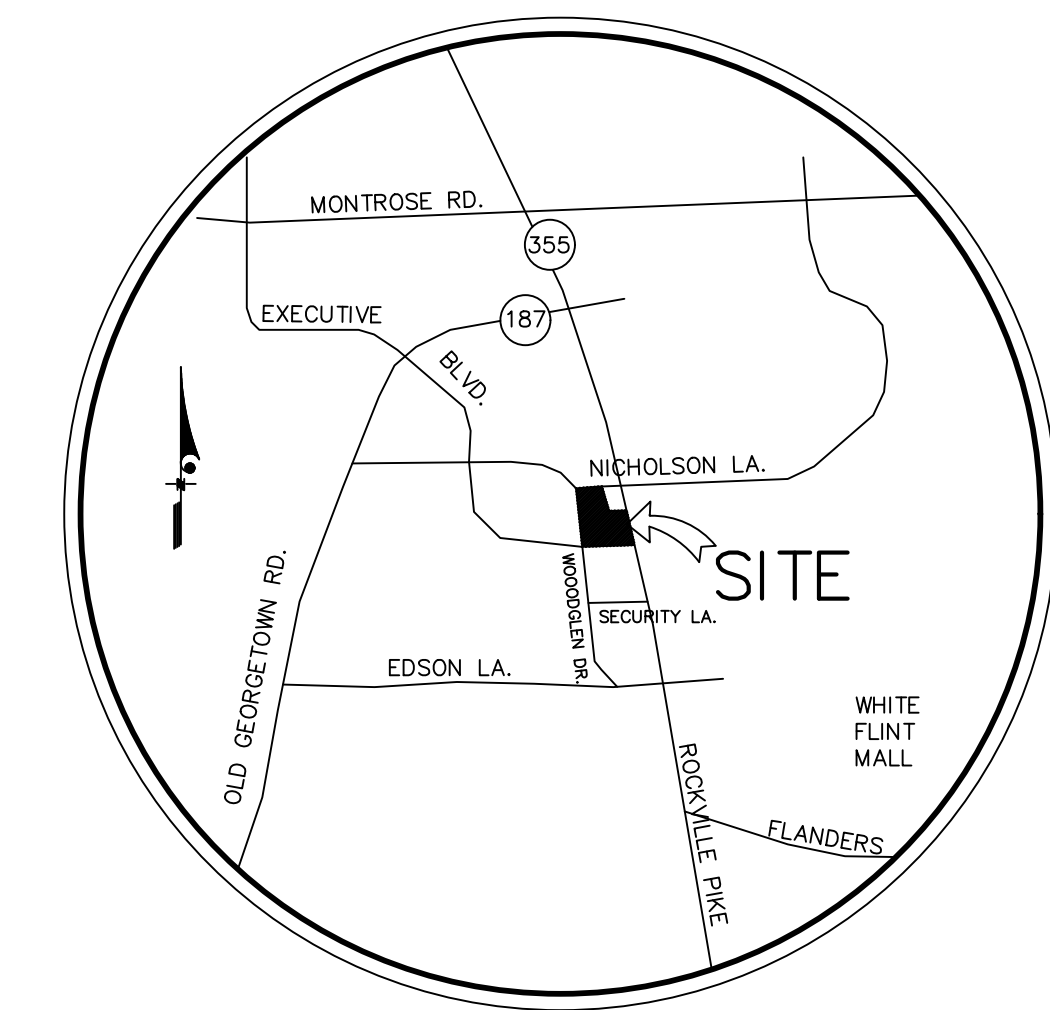
LEGEND

LIMIT OF DISTURBANCE

- DRAINAGE AREA LIMIT
- MICRO-BIORETENTION STREET PLANTER
- MICRO-BIORETENTION PLANTER
- STORMWATER VAULT
- PROPOSED BUILDING
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED BIKEWAY
- STORMWATER EASEMENT

- BELOW GRADE FOOTPRINT
- AT GRADE FOOTPRINT
- BUILDING OVERHAND (OVER 10')
- PROP. WALL
- PROP. TRASH/LOADING
- PROP. BENCH
- PROP. TRASH RECEPTACLE
- PROP. SIGN
- PROP. BIKE RACK
- PROP. DOORS
- PROP. LIGHT POLE

- CURB & GUTTER
- WALL
- CATCH BASIN
- UTILITY VAULT
- SIDEWALK
- WHITE LINE
- EDGE OF BRACK
- EDGE OF CONCRETE
- STEPS
- BUILDING LINE
- ROADWAY CENTERLINE



mv+a

OWNER
Woodglenn Master Owner, LLC
Woodglenn Master Owner II, LLC
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Bethesda, MD 20814
Tel: 301.657.7325

APPLICANT
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c/o SGC Development
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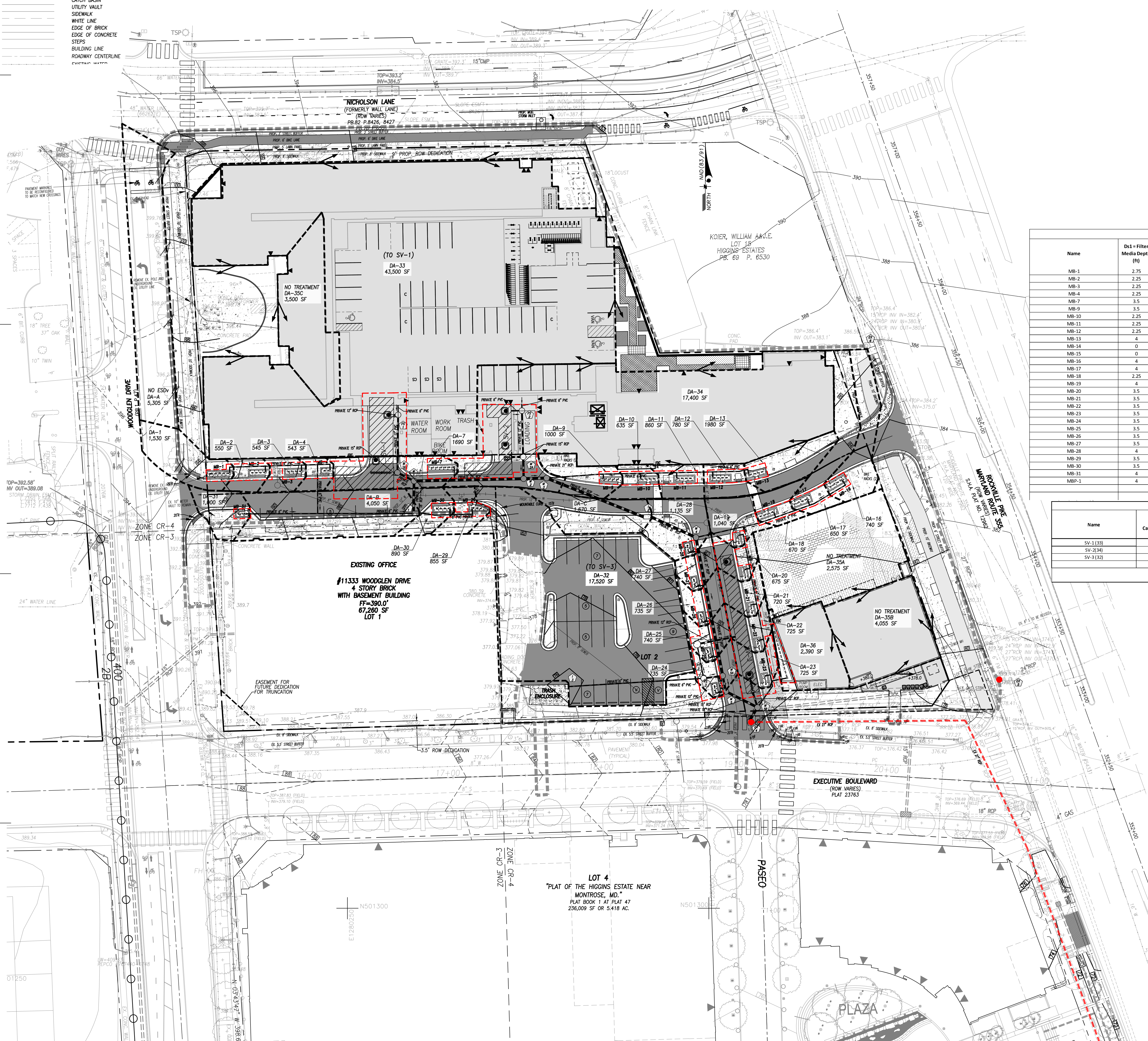
ARCHITECT
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MEP ENGINEER
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Lafayette Hill, PA 19444
Tel: 215.774.1429



Combined SWM

TOTAL SITE AREA (LOT 33 and ROW Dedication):		160,942 SF
Existing Impervious Area		144,848 SF
Percent Impervious (I)		90.0% SF
Therefore Redevelopment		>40%
TOTAL DISTURBED AREA:		152,760 SF
Impervious Area		136,562 SF
Percent Impervious (I)		89.4% SF
Target PE (Table 5.3) (Group D	1.80 in.
Hydrologic Soil Group		0.85
Rv		19,582 CF

Bioretention - Standard with Underdrain (ESD, Treatment)

Name	DA = Filter Media Depth (ft)	D = Ponding Depth (ft)	Sv = Sand Layer Depth (ft)	Sa = Area (ft²)	Ai = Impervious Area Draining to BMP (SF)	DA - Total Area Draining to BMP (SF)	Maximum ESD Volume 2.6' To BMP (CF)	Minimum ESD Volume 1.0' To BMP (CF)	Rv = Volumetric Runoff Coeff.	Provided ESD Volume (CF)	Provided Equiv. PE (in.)	
MB-1	2.75	0.5	0.5	59	1,399	1,530	287	110	0.91	305	1.00	
MB-2	2.25	0.5	0.5	45	505	550	113	44	0.95	72	1.80	
MB-3	2.25	0.5	0.5	45	500	545	115	43	0.95	72	1.80	
MB-4	2.25	0.5	0.5	27	510	583	109	42	0.94	63	1.08	
MB-7	3.5	0.5	0.5	60	1,610	1,690	340	131	0.94	326	1.00	
MB-9	3.5	0.5	0.5	37	963	1,000	206	79	0.95	78	1.02	
MB-10	2.25	0.5	0.5	43	592	635	131	50	0.95	69	1.47	
MB-11	2.25	0.5	0.5	45	615	600	177	68	0.95	72	1.12	
MB-12	2.25	0.5	0.5	46	734	780	161	62	0.95	74	1.27	
MB-13	4	0.5	0.5	60	1,285	1,345	277	106	0.95	138	1.36	
MB-14	0	0	0	0	0	0	0	0	0.05	0	0.00	
MB-15	0	0	0	0	0	0	0	0	0.05	0	0.00	
MB-16	4	1	0.5	52	1,865	1,940	390	150	0.94	346	1.00	
MB-17	4	1	0.5	54	1,816	1,870	385	148	0.95	351	1.05	
MB-18	2.25	0.5	0.5	45	625	670	138	53	0.95	72	1.46	
MB-19	4	0.5	0.5	28	1,005	1,058	611	61	0.83	60	1.01	
MB-20	3.5	0.5	0.5	29	646	675	139	53	0.95	61	1.19	
MB-21	3.5	0.5	0.5	29	691	720	148	57	0.95	61	1.11	
MB-22	3.5	0.5	0.5	29	696	725	149	57	0.95	61	1.11	
MB-23	3.5	0.5	0.5	29	696	725	149	57	0.95	61	1.11	
MB-24	3.5	0.5	0.5	29	706	735	151	58	0.95	61	1.09	
MB-25	3.5	0.5	0.5	29	711	740	152	59	0.95	61	1.08	
MB-26	3.5	0.5	0.5	29	706	735	151	58	0.95	61	1.09	
MB-27	3.5	0.5	0.5	29	711	740	152	59	0.95	61	1.08	
MB-28	4	0.5	0.5	29	990	1,135	175	67	0.83	67	1.02	
MB-29	3.5	0.5	0.5	35	765	800	165	63	0.95	74	1.21	
MB-30	3.5	0.5	0.5	52	768	820	169	65	0.95	109	1.80	
MB-31	4	0.5	0.5	29	890	1,000	175	67	0.88	87	1.03	
MFB-1	4	1	0.5	151	2,239	2,390	462	189	0.95	423	2.39	
Total											2,503	0.23

SWM Filter Vaults (STRUCTURAL TREATMENT)

Name	Filter Cartridges	Storage Depth (ft)	Vault Depth (ft)	Area (ft²)	Impervious Area Draining to BMP (SF)	Total Area Draining to BMP (SF)	Maximum ESD Volume 2.6' To BMP (CF)	Minimum ESD Volume 1.0' To BMP (CF)	Volumetric Runoff Coeff. (Rv)	ESD Volume (CF)	Equivalent PE (in.)	
SV-1 (33)	n/a	8	9	1427.2	43,500	43,500	8,994	3,444	0.95	8,994	2.80	
SV-2 (24)	n/a	7	8	706.4	17,400	17,400	3,582	1,378	0.95	3,582	2.80	
SV-3 (32)	n/a	4	5	851.84	17,000	17,520	3,401	1,308	0.92	3,401	2.52	
Total											15,996	

TOTAL

Name	Media Depth (in)	Area (ft²)	Storage Capacity of BMP (CF)	Total Area Draining to BMP (SF)	ESD Volume (CF)	Equivalent PE (in)
SWM Filter Vaults	N/A	1,427	11,418	43,500	15,996	
Micro-Bios	30	2,599	13,921	68,744	2,593	
TOTAL	N/A	4,026	25,339	112,244	18,439	1.70
Remaining CPv Volume to be Captured					1,342	

A MONETARY AMOUNT WILL BE PROVIDED IN LUE OF THE REMAINING CPv VOLUME.
TOTAL DISTURBED AREA = 152,760 SF (3.51 AC)
PERCENT IMPERVIOUS = 89.4% (136,562 SF OR 3.14 AC)
PERCENT ESDv PROVIDED = 94.2% (18,439 CF)

North Bethesda Market II

NORTH BETHESDA, MARYLAND

STORMWATER MANAGEMENT PLAN

PROJECT NUMBER
22002.00

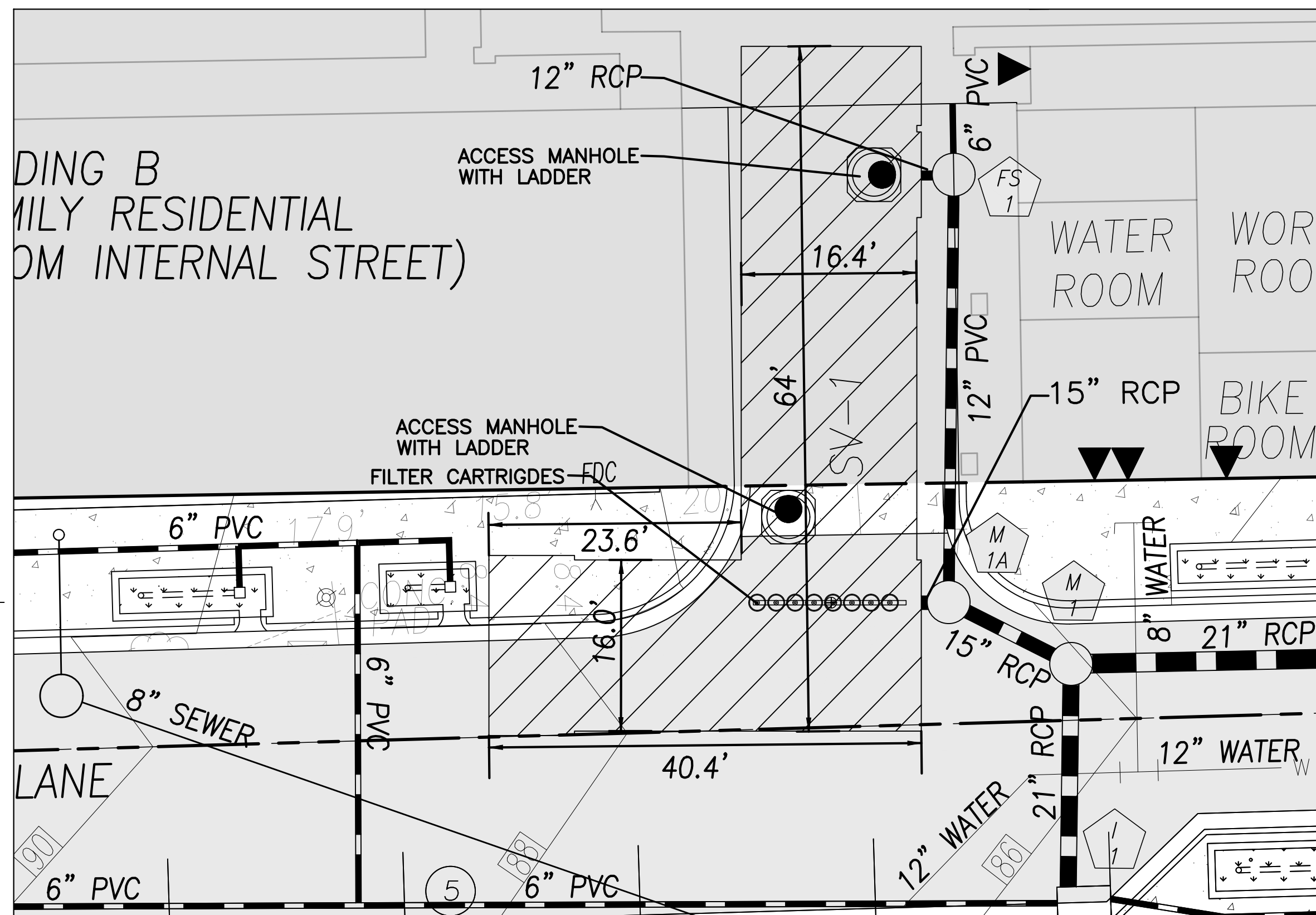
REV.	ISSUE:	DATE
	Permit Set	10-22-24

KEY PLAN

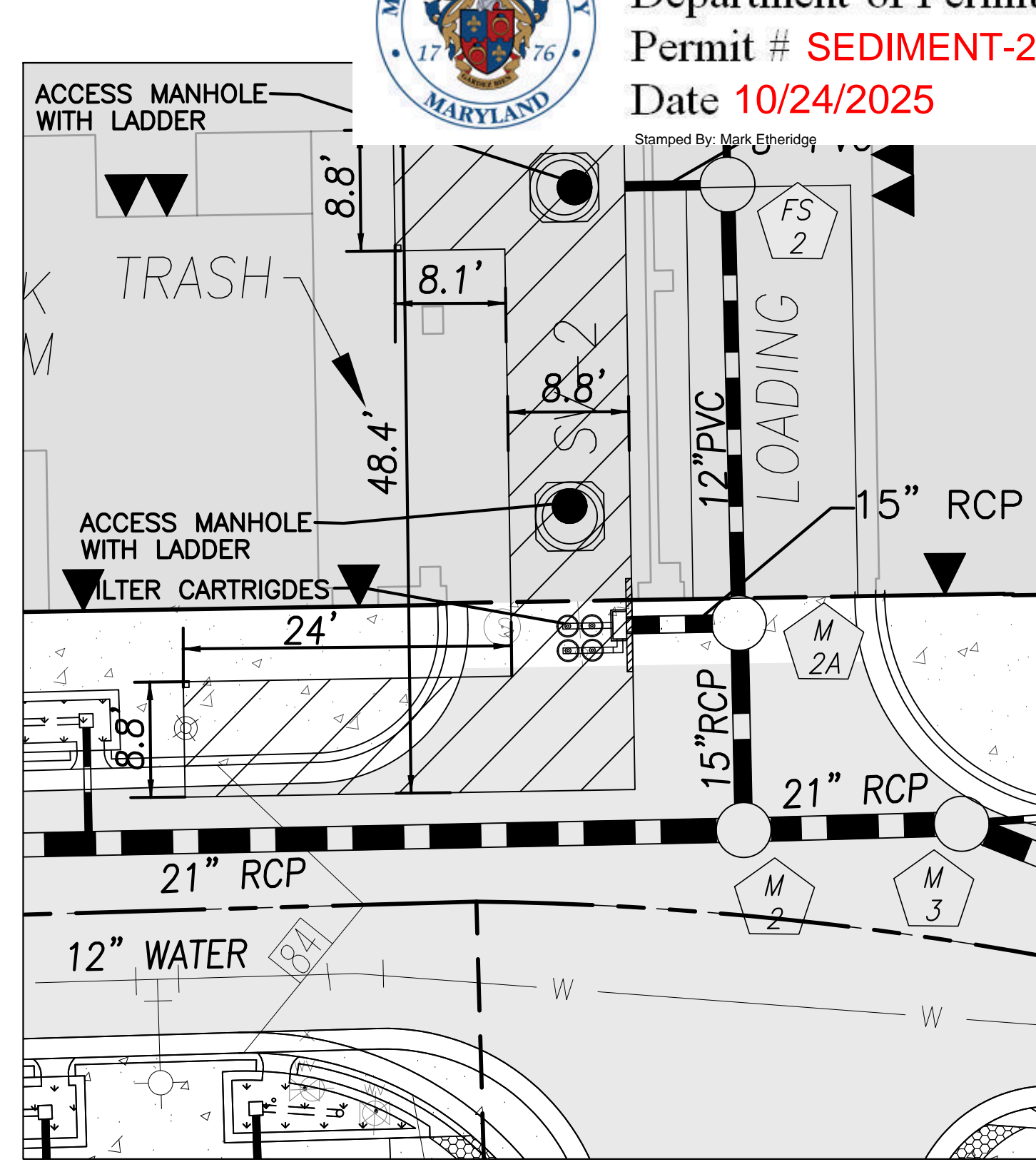
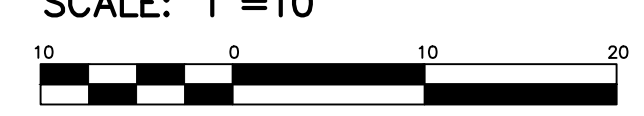
DRAWING STAMP

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Licence No.: 35287
Expiration Date: 10/27/26

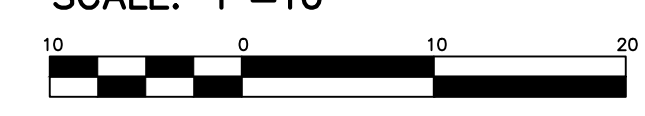




PLAN VIEW OF SV-1 AND SV-2
SCALE: 1"=10'



PLAN VIEW OF SV-1 AND SV-2
SCALE: 1"=10'



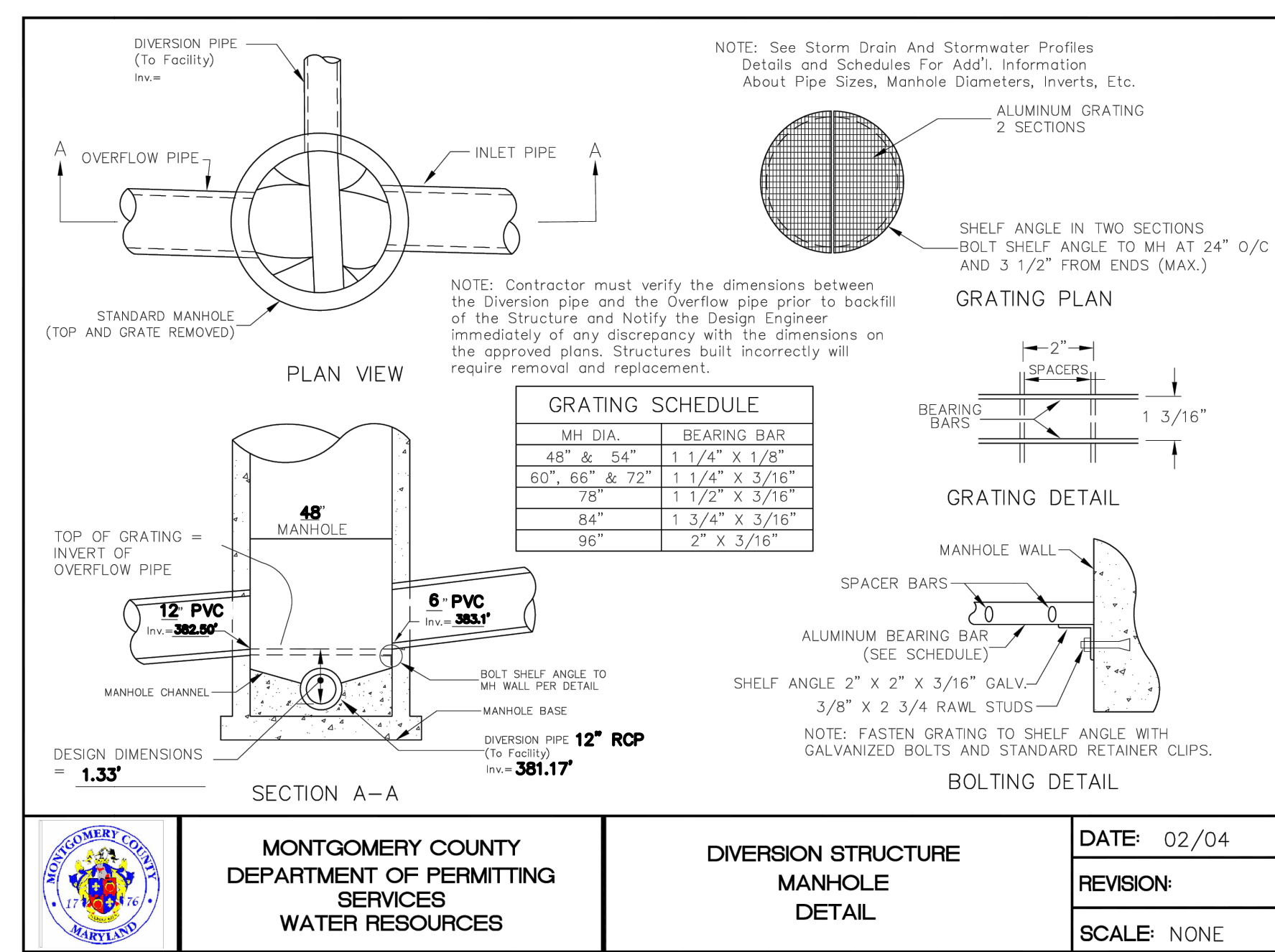
APPROVED
Department of Permitting Services
Permit # **SEDIMENT-297245**
Date **10/24/2025**



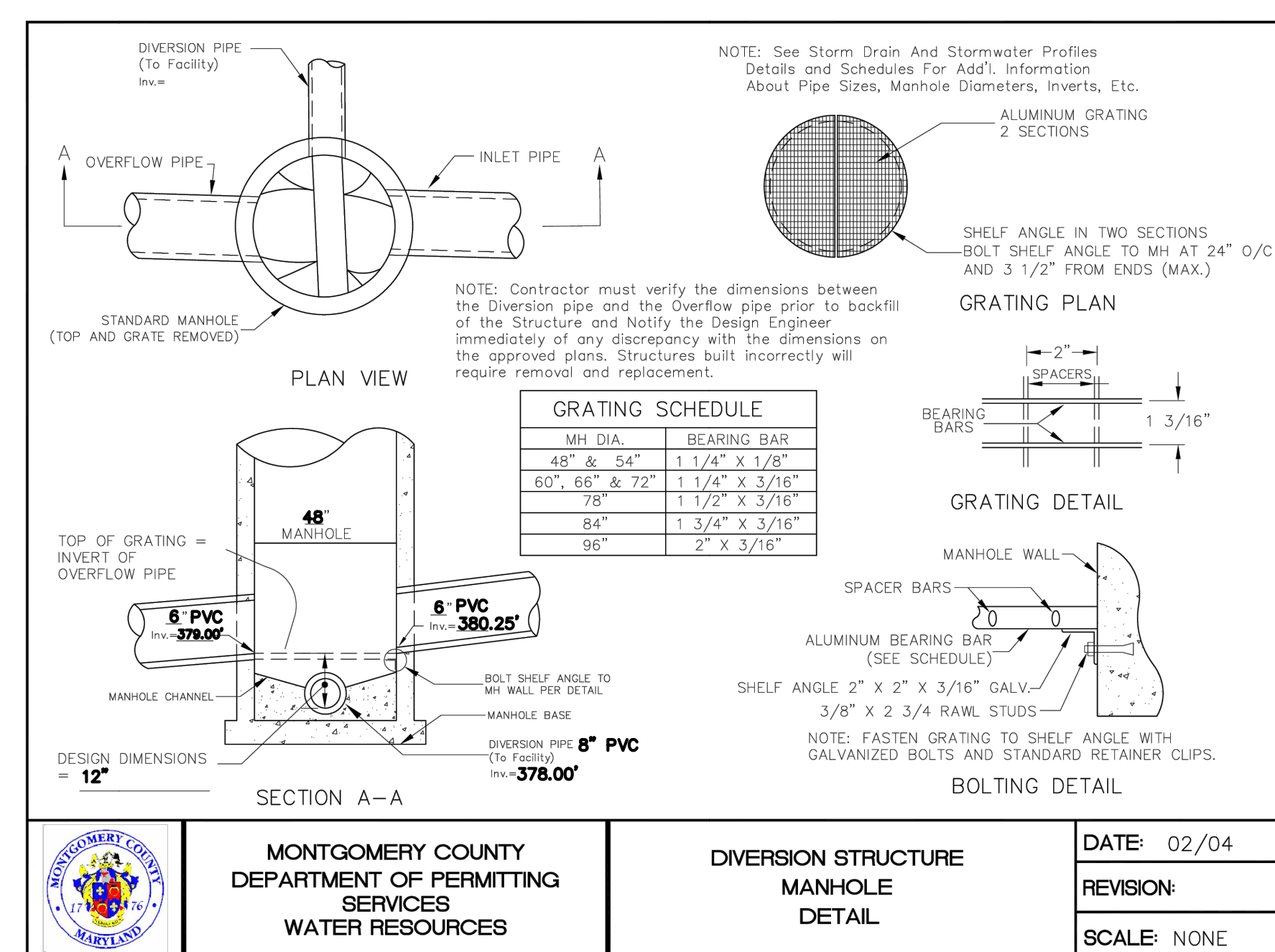
- NOTES:
- Shop drawings for the CDS structures must be prepared, approved by the project engineer, and submitted to DPS plan reviewer for acceptance, utilizing standard precast checklist, prior to fabrication.
 - Annular space between pipe and hole to be filled with an approved non-shrink grout or concrete (as specified). For Stormceptor and Stormfilter, a rubber boot connection is required. Adapters are available for HDPE pipe.
 - Butyl rubber to be used in all joints. All joints to be grouted with non-shrink grout, inside and out
 - Concrete shall meet the requirements of ACI 350, Environmental Engineering Concrete Structures, with freezing and thawing exposures. Concrete shall be a Type 1L Cement conforming to ASTM C-595, with a 28-day Compressive strength of 5000 psi. Concrete shall also be in conformance with the latest edition and addenda of the MSHA Standards and Specifications for Construction and Materials
 - Pre-treatment structure must be watertight.
 - Flow Splitter Note:
6.1. The contractor to verify that dimension prior to backfilling around the structure, and to notify the design engineer immediately if there is a discrepancy.

ACCESS NOTES:

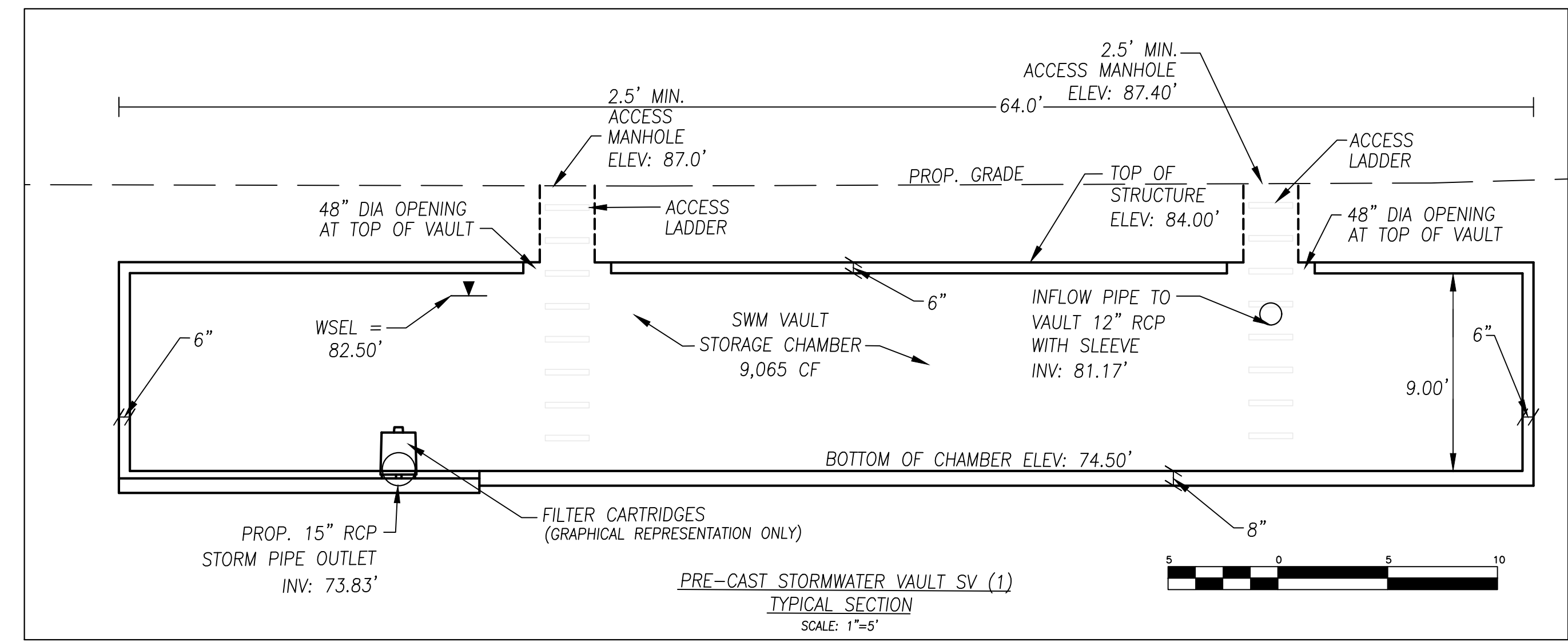
- All facility access manhole openings must be 28-inch diameter. There must be at least one manhole for every 100-feet of pipe. There must be a minimum of two manholes per pipe run. Where required, access ladders must be used, rather than manhole steps. Manhole covers must be bolted. Concrete manholes must be used for access to HDPE pipes. Manhole access is required at the terminal end of all pipe runs.
- All access points to underground stormwater structures where more than nine inches of adjustment rings are required to match final grade, a concrete riser that is a minimum of forty eight inches in diameter must be used. Corrugated metal pipe (CMP) storage systems may have a CMP riser with a minimum of forty eight inches inside diameter.
 - The top of underground stormwater management structures cannot be located more than four feet below proposed and/or final grade. If, in the as-built stage, it is revealed that the top of an underground structure is more than four feet below final grade, a plan revision will be required to provide safe and acceptable egress and ingress into the structure.
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 - The following will apply when a concrete riser is required for access. The manhole riser must be pre-cast concrete and may be square or round. It must be at least forty eight inches in diameter. If a round manhole riser is used it must be forty eight inches inside diameter for the entire height. It cannot be necked down to accommodate the manhole frame. A top slab must be used. The opening in the top of the underground structure must match the inside dimensions of the riser.
 - Solid concrete adjustment rings may be used to raise the manhole a maximum of nine inches to match the final grade.
 - Steps in the manhole risers and structures must comply with Standard Details No. MC-520.01 for spacing and No. MD-383.92 for the step material requirements.



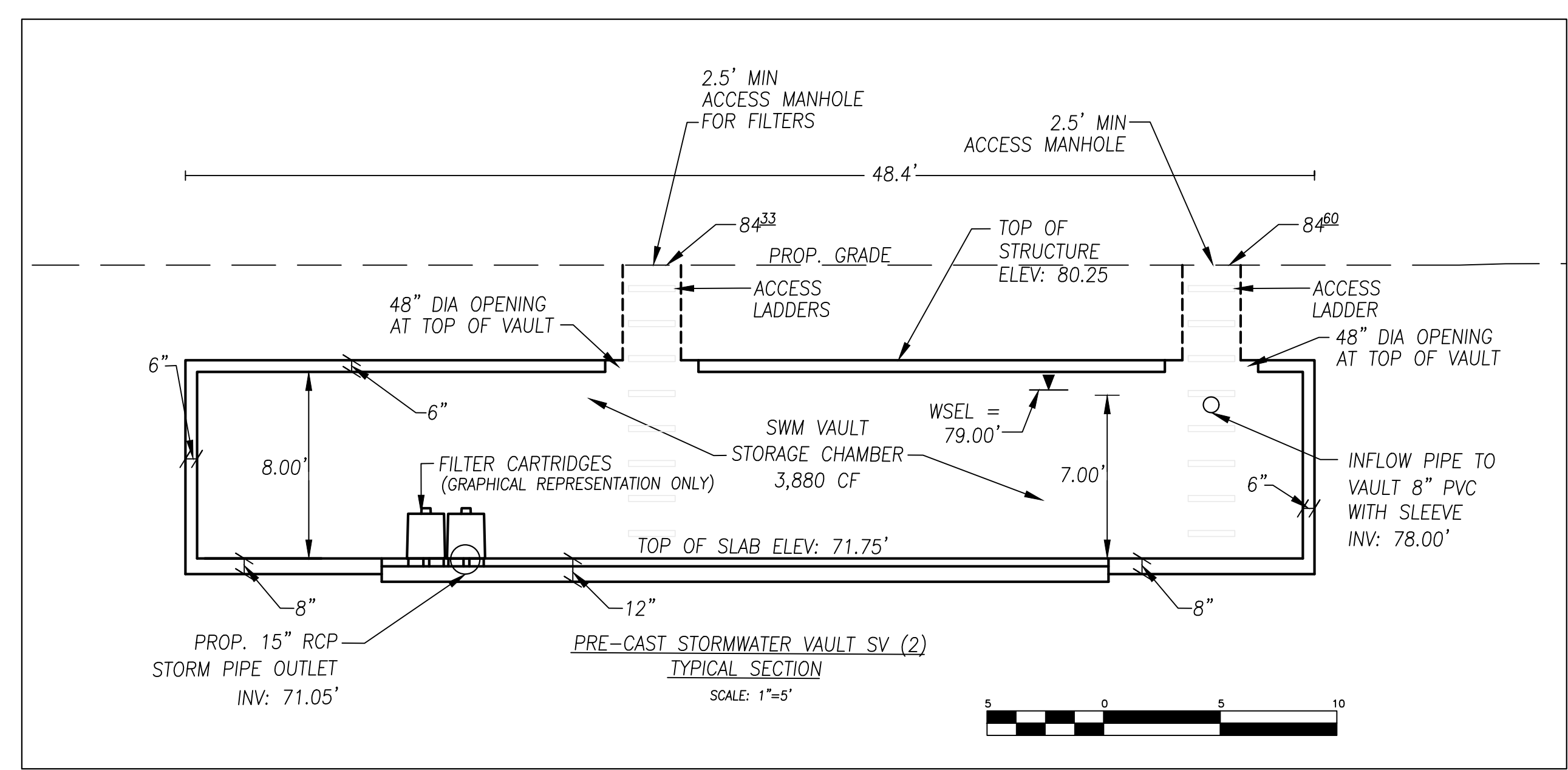
FS-1 DIVERSION STRUCTURE
FOR USE AT ALL SWM VAULTS
MONTGOMERY COUNTY STANDARD



FS-2 DIVERSION STRUCTURE
FOR USE AT ALL SWM VAULTS
MONTGOMERY COUNTY STANDARD



PRE-CAST STORMWATER VAULT SV (1)
TYPICAL SECTION
SCALE: 1"=5'



PRE-CAST STORMWATER VAULT SV (2)
TYPICAL SECTION
SCALE: 1"=5'

NOTE:
ALL STRUCTURAL
INFORMATION FOR THE
STORM VAULTS CAN
BE FOUND ON SHEET
S109.

SC/SWM - 07 of 16



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MEP ENGINEER
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509 Germantown Pike Bldg 2
Lafayette Hill, PA 19444
Tel: 215.774.1429

North Bethesda Market II

NORTH BETHESDA, MARYLAND

STORMWATER MANAGEMENT
DETAILS - STORM VAULT 1
AND STORM VAULT 2

PROJECT NUMBER
22002.00

REV.	ISSUE:	DATE
	Permit Set	10-22-24

MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING
SERVICES
WATER RESOURCES

DIVERSION STRUCTURE
MANHOLE
DETAIL

DATE: 02/04
REVISION:
SCALE: NONE

KEY PLAN

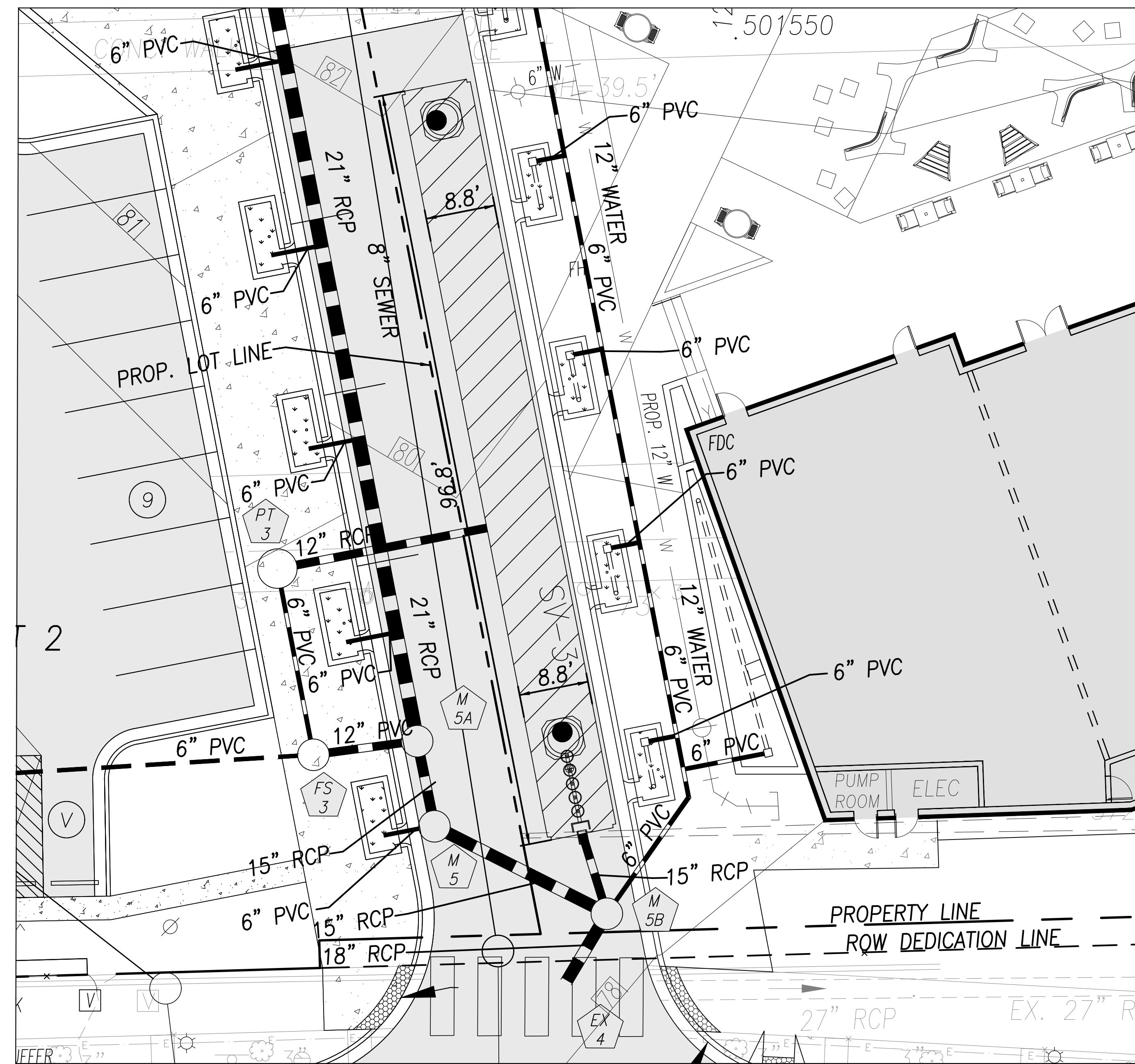
DRAWING STAMP

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Licence No.: 35287
Expiration Date: 01/01/26



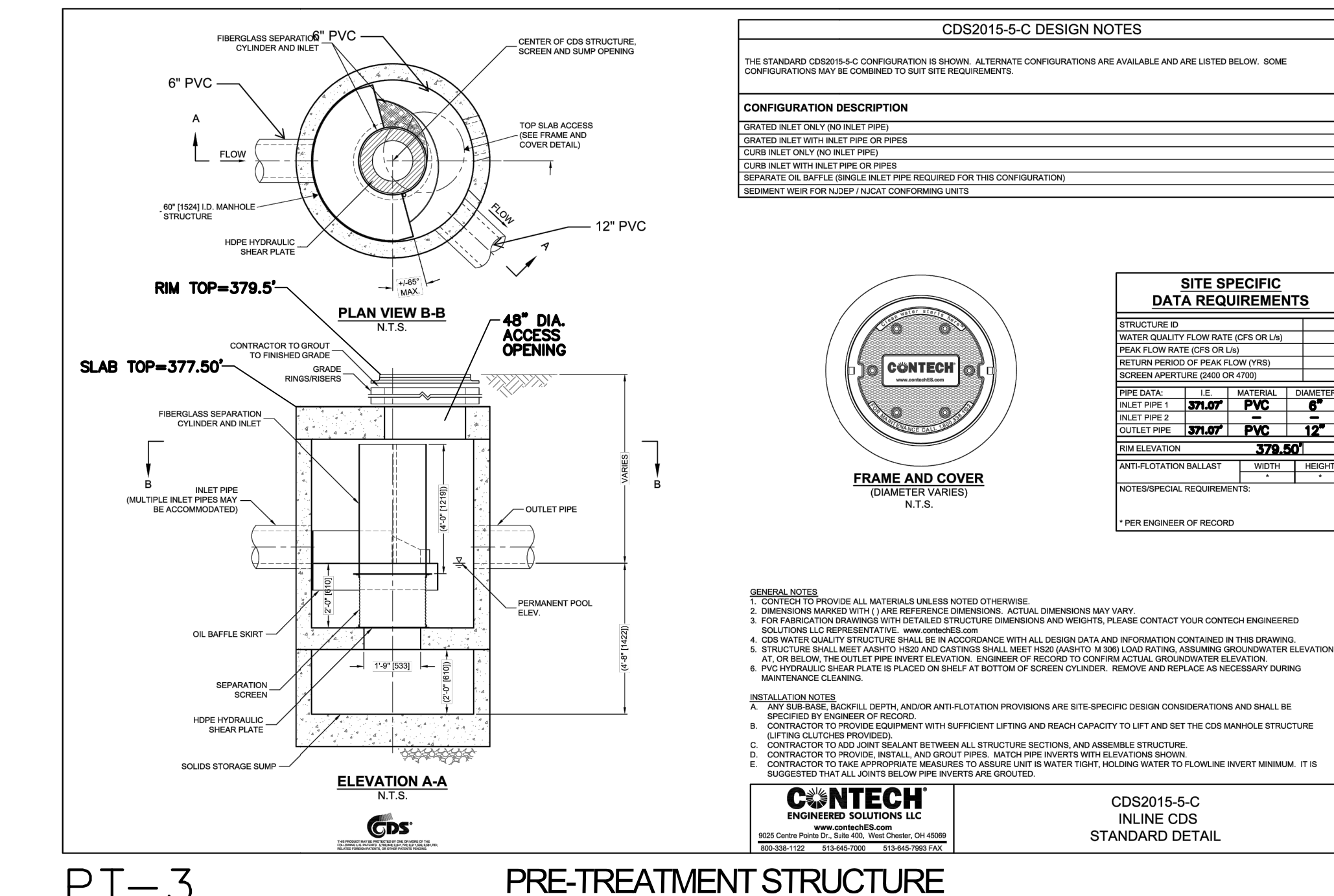
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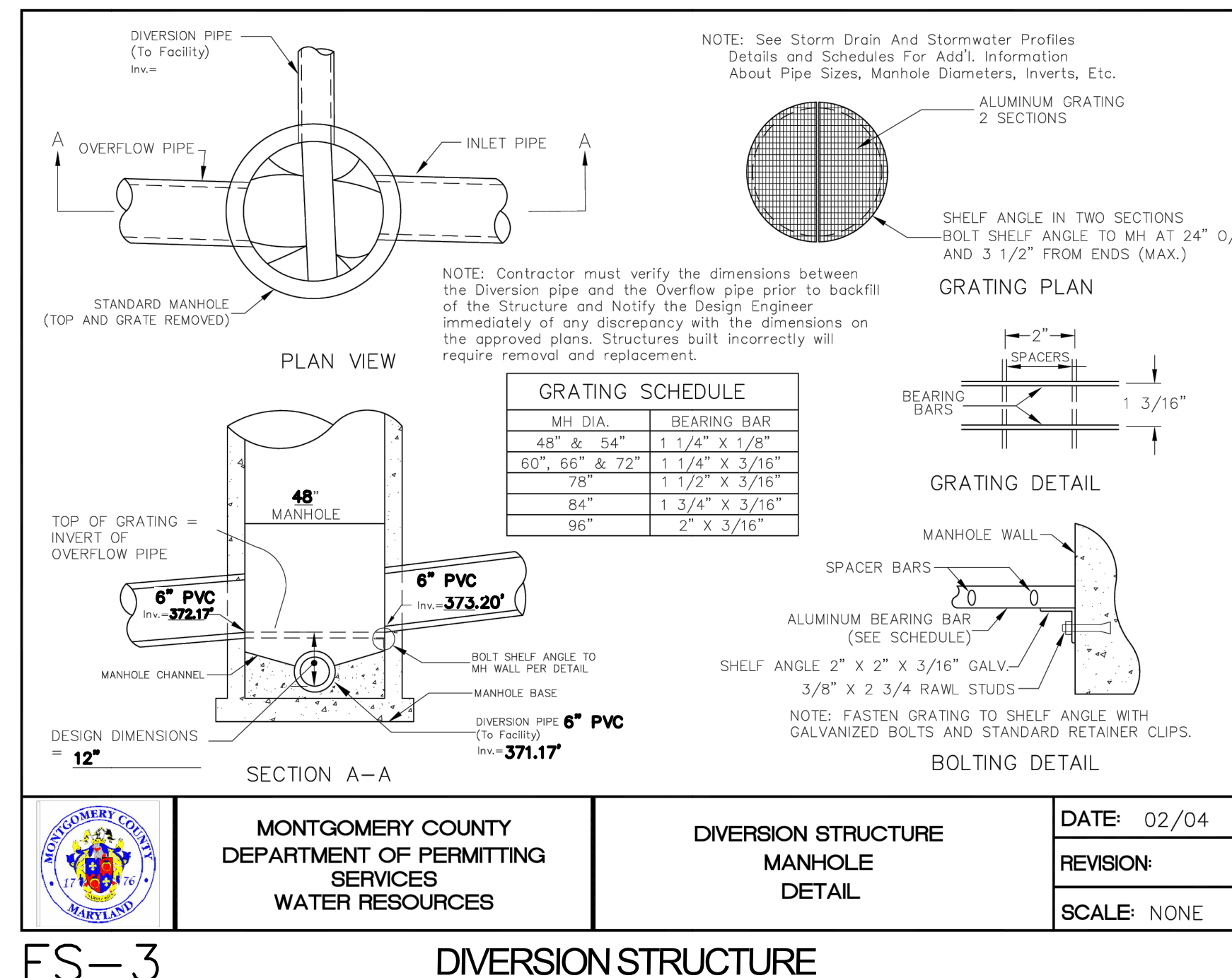


PLAN VIEW OF SV-3
 SCALE: 1"=10'

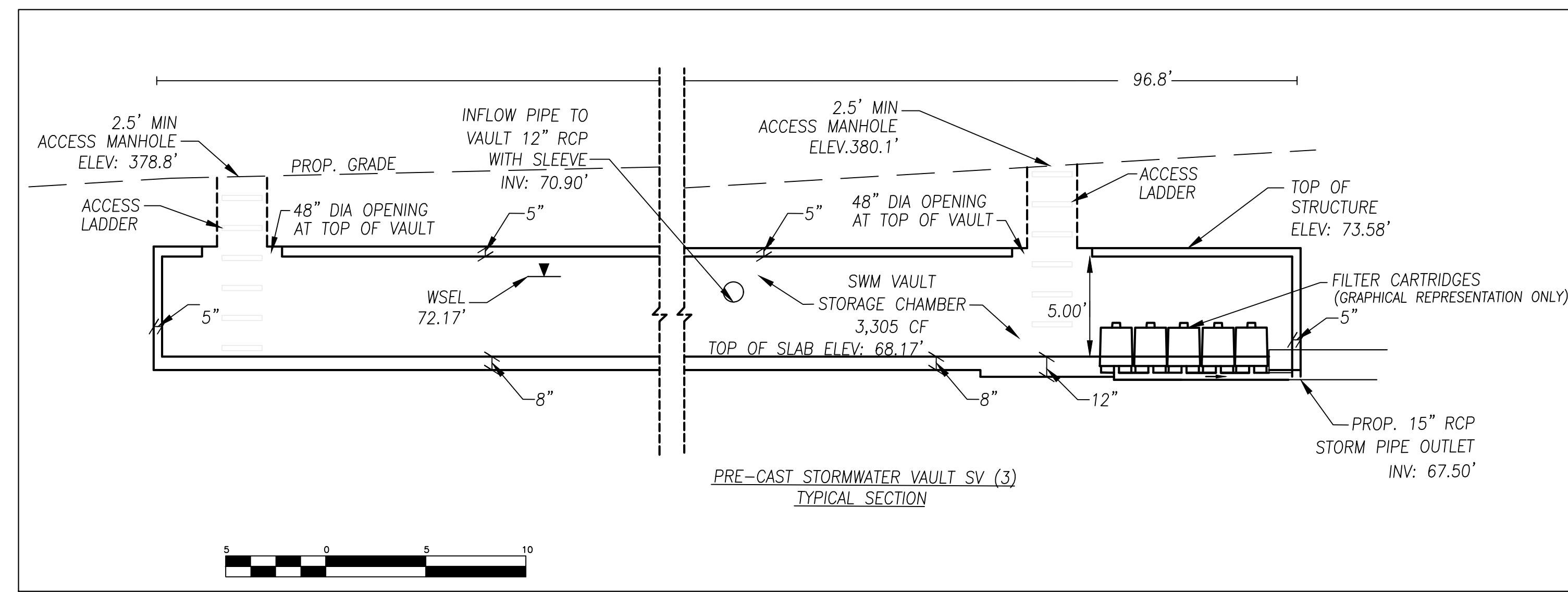
Note:
 Shop drawings for the CDS structures must be prepared, approved by the project engineer, and submitted to DPS plan reviewer for acceptance, utilizing standard precast checklist, prior to fabrication.



PT-3 PRE-TREATMENT STRUCTURE



FS-3 DIVERSION STRUCTURE
 FOR USE AT ALL SWM VALTS
 *MONTGOMERY COUNTY STANDARD



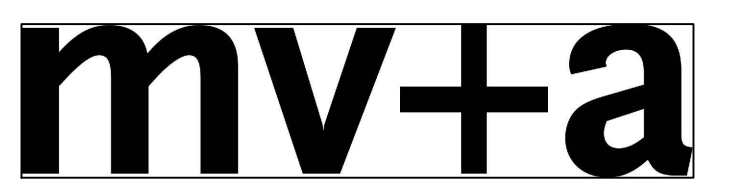
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NOTE:
 ALL STRUCTURAL INFORMATION FOR THE STORM VAULTS CAN BE FOUND ON SHEET S109.



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North Bethesda Market II

NORTH BETHESDA, MARYLAND

STORMWATER MANAGEMENT
 DETAILS - STORM VAULT 1
 AND STORM VAULT 2

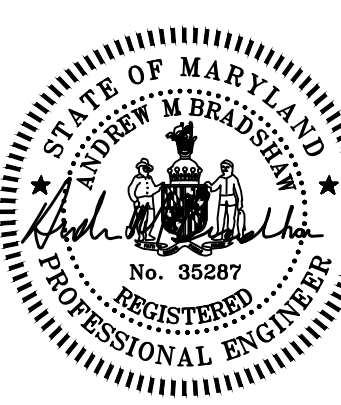
PROJECT NUMBER
 22002.00

REV.	ISSUE	DATE
	Permit Set	10-22-24

KEY PLAN

DRAWING STAMP

Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No.: 35287
 Expiration Date: 01-01-26



SHEET NUMBER

C-4.03