

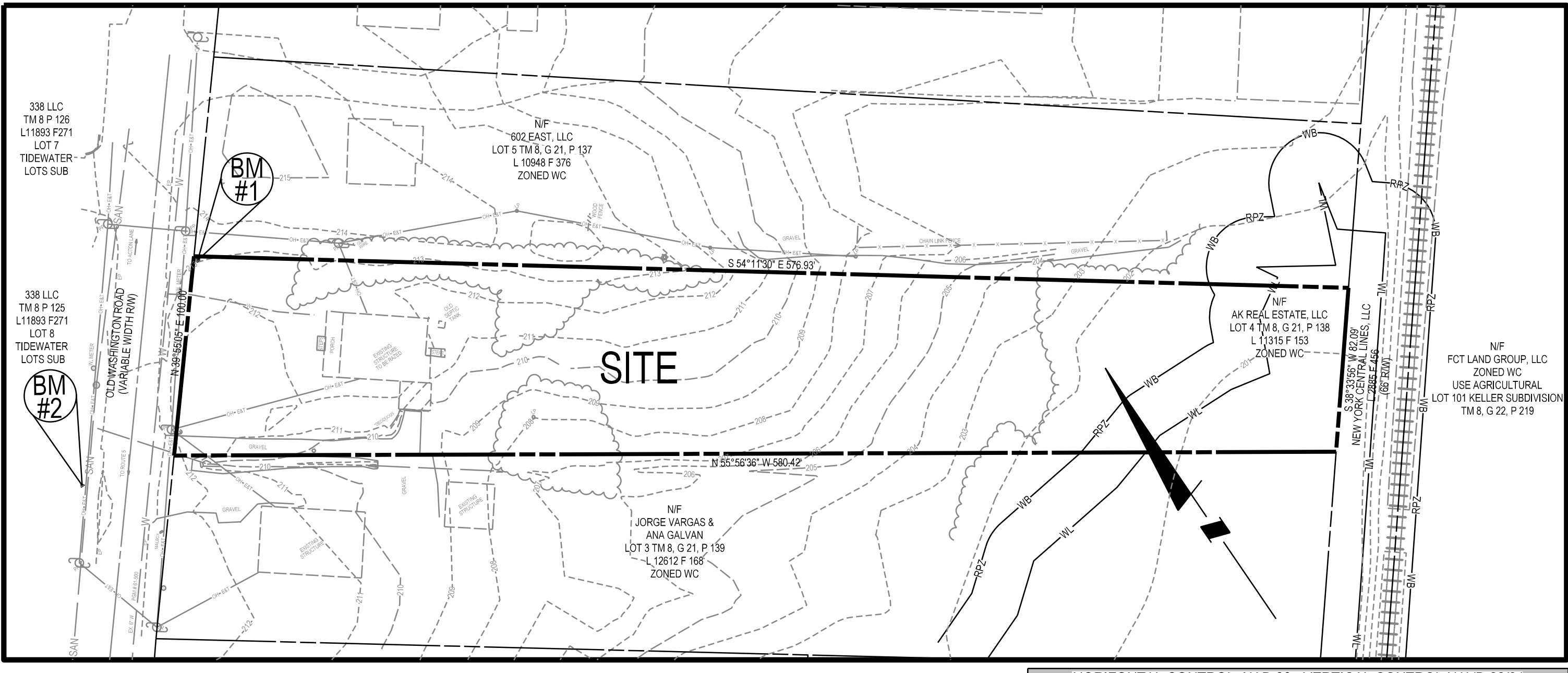
GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST CHARLES COUNTY DEPARTMENT OF PLANNING AND GROWTH MANAGEMENT SPECIFICATIONS MANUAL...
2. CONTRACTOR IS RESPONSIBLE FOR CONTACTING 'MISS UTILITY' AT 1-800-257-7777, 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE DEVELOPER IS RESPONSIBLE TO HOLD A 'PRECONSTRUCTION' MEETING TO INCLUDE THE CONTRACTOR, CHARLES COUNTY INSPECTION PERSONNEL, PUBLIC UTILITIES, AND ANY LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CHARLES COUNTY DEPARTMENT OF PLANNING AND GROWTH MANAGEMENT (CODES, PERMITS AND INSPECTION DIVISION 48 HOURS PRIOR TO THE START OF ALL CONSTRUCTION IN ACCORDANCE TO ALL PERMITS ISSUED @ 301-645-0700.
5. MAXIMUM SLOPES SHALL BE NOT GREATER THAN THREE (3) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL OUTSIDE THE ROAD RIGHT-OF-WAY. SLOPES WITHIN THE ROAD RIGHT-OF-WAY SHALL NOT BE GREATER THAN TWO (2) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL OR AS SPECIFIED IN THE COUNTY ROAD ORDINANCE AND IN THE CHARLES COUNTY DETAIL MANUAL.
6. EARTH WORK SHALL BE PLACED AND COMPACTED. SUBGRADE MATERIAL WHICH DOES NOT MEET THE CHARLES COUNTY COMPACTED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH SUITABLE COMPACTED SUBGRADE.
7. ALL GRADES, ELEVATIONS, EARTH QUANTITIES ETC. ARE TO BE VERIFIED BY THE CONTRACTOR. NO ALLOWANCE HAS BEEN MADE FOR UNSUITABLE MATERIAL ENCOUNTERED DURING CONSTRUCTION.
8. CERTIFIED COMPACTION TESTS ARE REQUIRED FOR ALL TRENCH/FILL WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS MANUAL AND GRADING ORDINANCE. FINAL REPORTS AND CERTIFICATIONS SHALL BE PROVIDED PRIOR TO PRE FINAL INSPECTION. IN ADDITION, EARTHWORK SHALL BE PLACED AND COMPACTED TO A POINT AT LEAST (3) FEET ABOVE THE TOP OF THE WATER, SEWER, AND STORM DRAIN LINES BEFORE CONSTRUCTION OF OR EXCAVATION FOR THE WATER, SEWER OR STORM DRAIN LINES AND/OR IN ACCORDANCE WITH THE LATEST EDITION OF THE CHARLES COUNTY STANDARDS & SPECIFICATIONS FOR CONSTRUCTION.
9. CERTIFIED COMPACTION TESTS AND GEOTECHNICAL REPORTS SHALL BE SUBMITTED ON A BIWEEKLY BASIS THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED BY THE SPECIFICATIONS MANUAL.
10. A PROGRESS REPORT OF AS-BUILT PLANS SHALL BE SUBMITTED PRIOR TO 'SUBSTANTIAL INSPECTIONS' FOR WATER AND SEWER CONSTRUCTION FOR THE PURPOSE OF OBTAINING AN APPROVAL FOR SUBSTANTIAL INSPECTION.
11. AS BUILT PLANS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTIONS FOR ALL DISCIPLINES.
12. WITH APPROVAL FROM THE CHARLES COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AND WITH ADEQUATE VEGETATIVE ESTABLISHMENT, ALL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE REMOVED IN ORDER TO RELEASE THE BONDS.
13. SUITABILITY OF SOIL USE IN FILL AREAS OR STABILITY OF CUT AREAS, COMPACTIONS, ETC. SHOULD BE DETERMINED BY A PROFESSIONAL SOILS ENGINEER. CONTRACTOR SHALL PLACE SELECT FILL ACCORDING TO CHARLES COUNTY STANDARDS AND SPECIFICATIONS SECTION 02245.
14. THE FOLLOWING UTILITY COMPANIES SHALL BE CONTACTED BY THE CONTRACTOR PRIOR TO CONSTRUCTION: COLUMBIA GAS, WASHINGTON GAS, COMCAST, VERIZON, S.M.E.C.O. AND AT&T.
15. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTRIBUTION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR EXCAVATED AREAS ON THE SITE.
16. WHEREVER DRAINAGE IS PROPOSED AWAY FROM THE CURB, REVERSE SLOPED GUTTER CONFORMING TO THE PAVEMENT CROSS SLOPE SHALL BE PROVIDED.
17. WHERE PROPOSED ROAD CONSTRUCTION MEETS EXISTING PAVEMENT, THE LINE AND GRADE OF THE PROPOSED ROAD CONSTRUCTION SHALL BE ADJUSTED AS REQUIRED TO ENSURE POSITIVE DRAINAGE AND TO PROVIDE A SMOOTH TRANSITION HORIZONTALLY AND VERTICALLY TO MEET THE EXISTING ROAD SECTION. IF SUBSTANTIAL ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING.
18. TRENCH BEDDING FOR STORM DRAINAGE PIPES AND CULVERTS SHALL BE SHAPED AND COMPACTED IN ACCORDANCE WITH THE LATEST EDITION OF THE MSHA 'STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS'.
19. THE COUNTY INSPECTORS ARE TO HAVE DAILY ACCESS TO ALL COMPACTION TEST DATA, RESULTS, PROCTORS, ETC.
20. THE LATEST EDITION OF CHARLES COUNTY GOVERNMENT DEPARTMENT OF PLANNING AND GROWTH MANAGEMENT MANUAL 'STANDARDS AND SPECIFICATION FOR CONSTRUCTION' MUST BE KEPT ON SITE AT ALL TIMES.
21. IN ACCORDANCE WITH SECTION 5.10 OF THE CHARLES COUNTY ROAD ORDINANCE, THE CONTRACTOR SHALL CONTACT THE COUNTY INSPECTIONS SUPERVISOR AT LEAST 48 HOURS PRIOR TO ANY WORK IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
A. BEFORE PLACING GRAVEL
B. BEFORE PLACING PAVING
C. AS PAVING PROGRESSES
D. AS DRAINAGE WORK PROGRESSES
E. AS CURB AND GUTTER WORK PROGRESSES.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY UNSUITABLE ROADWAY SURFACE MATERIAL WHICH DOES NOT MEET THE CHARLES COUNTY COMPACTED REQUIREMENTS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CONTACTING THE CHARLES COUNTY INSPECTIONS SUPERVISOR PRIOR TO PLACEMENT OF ANY SUBBASE MATERIAL FOR ROADWAYS IN ORDER TO OBTAIN APPROVAL OF ROADWAY SUBGRADE.
23. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, AND TECHNIQUES OF EXECUTING ITS WORK INCLUDING SAFETY.
24. ALL STORM DRAIN/STORM WATER MANAGEMENT OUTFALLS SHALL BE INSPECTED BY THE COUNTY AND REPAIRED BY THE CONTRACTOR IF REQUIRED, PRIOR TO BOND RELEASE.
25. PAVEMENT MARKINGS AND SIGNAGE WILL BE PROVIDED BY THE CONTRACTOR AT THE DEVELOPER'S COST. ALL PAVEMENT MARKINGS AND SIGNS SHALL BE IN ACCORDANCE WITH TYPE AND MATERIAL SPECIFICATIONS IN ACCORDANCE WITH MDTDC AND CHARLES COUNTY. ALL STREET SIGNS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO PLACEMENT OF ANY ASPHALT.
26. THE EXISTING DATA SHOWN ON THESE PLANS IS FROM THE BEST SOURCES AVAILABLE AT THE TIME OF DESIGN FOR THIS PROJECT. THE ENGINEER DOES NOT GUARANTEE THE EXISTING INFORMATION SHOWN AND THE CONTRACTOR SHALL VERIFY THIS INFORMATION TO HIS SATISFACTION, PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.
27. TWO FOOT FIELD VERIFIED TOPOGRAPHY WAS PERFORMED BY SOLTESZ AT OUTFALL AND BOUNDARY TIE OUTS. THE BALANCE OF THE SITE IS BASED OFF FLOWN TOPO BASED ON NORTH AMERICAN VERTICAL DATUM 1985 (NAVD85).
28. THE BOUNDARY HAS BEEN SURVEYED AND VERIFIED BY SOLTESZ.

SITE NOTES

- 1. SCOPE OF WORK: THIS PLAN PROPOSES THE CONSTRUCTION OF A 5-STORY APARTMENT BUILDING WITH RETAIL ON LOWER LEVEL. USE: 3.03.200 - MID RISE APARTMENT BUILDING USE: 6.01.122 - SPECIALTY SHOPS
2. WC ZONE DIMENSIONAL REQUIREMENTS: FRONT YARD: 0 FEET (MINIMUM) 12 FEET (MAXIMUM) SIDE YARD: 0 FEET REAR YARD: 0 FEET MAXIMUM FLOOR AREA RATIO: 0.50 TO 1.6 MAXIMUM LOT COVERAGE = 90% MINIMUM OPEN SPACE = 15% FRONT BUFFER = 30 TYPE 'B'
3. PARKING REQUIREMENTS: RETAIL: 1 SPACE PER 200 SQUARE FEET RESIDENTIAL: 1 BED - 1.5 SPACE PER UNIT 2 BED - 2 SPACE PER UNIT
RESIDENTIAL: 1 BED - 1.5 SPACE PER UNIT - 24 UNITS = 36 SPACES 2 BED - 2 SPACE PER UNIT - 12 UNITS = 24 SPACES TOTAL SPACES REQUIRED = 60 SPACES 10% VISITOR PARKING = 60 X 10% = 6 SPACES TOTAL SPACES REQUIRED = 66 + 5 SPACES = 71 SPACES
PER ARTICLE 297-97 ACTIVITY ZONES: K,(3)(A)(2) FOR ALL OTHER LAND USES, THE MINIMUM NUMBER OF OFF-STREET SURFACE PARKING SPACES SHALL BE EQUAL TO 50% OF THE MINIMUM NUMBER OF REQUIRED OFF-STREET PARKING SPACES REQUIRED BY ARTICLE XX, FIGURE XX-1. AS SUCH WE HAVE PROVIDED THE MAXIMUM NUMBER PRACTICABLE ON THIS SITE AT THIS TIME WITHOUT KNOWING WHEN THE SHARED PARKING FACILITIES WILL BE AVAILABLE.
MINIMUM PARKING PROVIDED = 712 - 35.5 = 36 SPACES TOTAL PARKING PROVIDED = 37 SPACES
4. PUBLIC UTILITIES: PHONE, CABLE, GAS, & ELECTRIC ARE AVAILABLE
5. STORM WATER MANAGEMENT: SWM TO BE PROVIDED ON SITE IN ACCORDANCE WITH THE LATEST CHARLES COUNTY SWM ORDINANCE AND PER STORMWATER PLANS C5WM-210013 & S5WM-220013
6. WATER & SEWER: PUBLIC WATER: CATEGORY W-1 PUBLIC SEWER: CATEGORY S-3
7. ROADS: THE EXISTING RIGHT-IN / RIGHT-OUT ENTRANCE FROM OLD WASHINGTON ROAD WILL BE MAINTAINED AS SHOWN.
8. FOREST CONSERVATION: WILL BE PROVIDED OFFSITE. AS PER THE FINAL FOREST CONSERVATION PLAN FC-230017 APPROVED ON 09/15/2023
9. WETLANDS/STREAMS: THERE ARE WETLANDS LOCATED ON SITE.
10. FLOODPLAIN: THERE IS NO 100 YEAR FLOODPLAIN ON SITE. PER FEMA MAP, FIRM PANEL 24017C 0070C, DATED SEPTEMBER 4, 2013.
11. BOUNDARY: BOUNDARY SURVEY HAS BEEN PERFORMED BY SOLTESZ, INC. IN OCTOBER, 2020.
12. TOPOGRAPHY: 2 FIELD VERIFIED TOPOGRAPHY BY SOLTESZ OCTOBER, 2020 WITHIN THE SITE AREA. OFF-SITE TOPOGRAPHY WAS 2 TOPOGRAPHY PURCHASED FROM CHARLES COUNTY DEPARTMENT OF PLANNING AND GROWTH MANAGEMENT.
13. SOILS: SOILS INFORMATION SHOWN ON THIS PLAN HAS BEEN OBTAINED FROM USDA-NRCS WEB SOIL SURVEY.
14. WATERSHED: THE SITE LIES WITHIN THE MATTAWOMACK CREEK (0214011). HOWEVER, IT DRAIN TO THE ZEKIAH SWAMP (02140108)
15. HANDICAPPED PARKING WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT RULES AND REGULATIONS REGARDING COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MARYLAND ACCESSIBILITY CODE (MAC). COMPLIANCE WILL BE BASED UPON PROVIDING THE MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES, CORRECT SIGNAGE, STRIPING, PARKING SPACE AND ACCESSIBLE SURFACE.
16. NO FINAL PLAN FOR A RESIDENTIAL SUBDIVISION OR SERVICES PERMIT FOR A RESIDENTIAL SITE PLAN SHALL BE APPROVED UNTIL SCHOOL CAPACITY ALLOCATION HAS BEEN GRANTED BY THE DIRECTOR OF PLANNING AND GROWTH MANAGEMENT.

DEVELOPMENT SERVICES PERMIT WALDORF MIXED USE BUILDING TAX MAP 8, PARCEL 138, LOT 4 TAX ID NO. 0906030742 SIXTH (6TH) ELECTION DISTRICT, CHARLES COUNTY, MARYLAND



SHEET INDEX table with 18 rows listing various sheets from COVER SHEET to SITE DISTANCE PLAN AND PROFILE.

SITE TABULATION table showing TOTAL SITE AREA (1.21 AC), TOTAL DISTURBED AREA (1.07 AC), EX. IMPERVIOUS AREA (0.12 AC), etc.

SWM SUMMARY TABLE showing TOTAL LIMIT OF DISTURBANCE (1.07 AC), TOTAL ESdV REQ. (4.476 CF), TOTAL ESdV PROVIDED (5.336 CF).

ABBREVIATION LIST table with columns for symbol, description, and manual on uniform traffic control devices.

Horizontal Control and Benchmark table with columns for BM#, ELEV., BENCHMARK, NORTHING, and EASTING.

OWNER / DEVELOPER'S CERTIFICATION form with fields for signature, date, printed name, title, firm, address, and phone number.

OWNER'S / DEVELOPERS CERTIFICATION form with fields for signature, date, printed name, title, firm, address, and phone number.

ENGINEER'S CERTIFICATION STATEMENT form with fields for signature, date, printed name, title, firm, address, and phone number.

CONSULTANT CERTIFICATION form with fields for signature, date, printed name, title, firm, address, and phone number.

CHARLES SOIL CONSERVATION DISTRICT APPROVAL form with signature of Timothy Wells and date 7/18/2025.

CHARLES COUNTY PLANNING COMMISSION APPROVAL form with date 10/24/24.

REQUIRED PERMITS / APPROVALS table with columns for TYPE OF PERMIT, REQ'D., NOT REQ'D., PERMIT #, APPROVAL DATE, and EXPIRATION DATE.

APPROVED FOR table with columns for Grading, Storm Drainage, Stormwater Management, Water, Sewer, and Other, with Construction and As-builts status.

LEGEND table with columns for EXISTING and PROPOSED, listing symbols for property lines, contours, spot elevations, limits of clearing, etc.

SOLTESZ, INC. logo and contact information for the Waldorf Office, including address, phone, and website.

REVISIONS table with columns for NO., DATE, REVISIONS, and BY.

MISS UTILITY NOTE: INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS...

OWNER/DEVELOPER/APPLICANT: AK REAL ESTATE LLC, 7909 SHANNONDALE DR, LAUREL, MD 20723

MAP GRID table with columns for ZONING CATEGORY, WAS CATEGORY, TAX MAP / PARCEL, and GRID.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

COVER SHEET: DEVELOPMENT SERVICES PERMIT WALDORF MIXED USE BUILDING TAX MAP 8, PARCEL 138 WALDORF, MD. SHEET 1 OF 18.

Vertical text on the left margin: The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and/or alterations were not made by others. A verification of the information contained herein is necessary. Expressions of warranty are hereby disclaimed.

Vertical text on the right margin: WALDORF MIXED USE PGM # DSP-250015

Vertical text on the right margin: DSP-250015